

**City of Bakersfield**

**RiverLakes Ranch  
Specific Plan**

<b>Adopted:</b>	<b>June 27, 1990</b>
<b>Last Revised:</b>	<b>October 16, 2002</b>

## **PROLOGUE**

In May of 1986 the City of Bakersfield adopted the Rancho Laborde Specific Plan covering approximately 1,900 acres of land in the Rosedale area of Bakersfield's northwest. This Specific Plan provided the control mechanism for the residential, commercial and recreation development of the plan area. The area covered by the Rancho Laborde Specific Plan, which was once under multiple land ownership, has since been reunited under one ownership. The name of the previous Rancho Laborde Development and Specific Plan had been changed to RiverLakes Ranch. On June 27, 1990, the City of Bakersfield adopted the RiverLakes Ranch/Unibell Specific Plan, an amendment to the RiverLakes Ranch Specific Plan. In April, 1996, Fruitvale Properties, LLC acquired the Unibell portion of the land base and became the Master Developer for the remaining approximately 900 acres of undeveloped land in the Specific Plan area. On October 23, 1996, the City of Bakersfield adopted another major amendment to the Specific Plan document deleting references to "Unibell" and incorporating consistent development standards which will be applied to the remaining undeveloped land, thus eliminating the previous, two chapter format.

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**RiverLakes Ranch Specific Plan**

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SEE VOLUME 2 for TECHNICAL APPENDIX

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## EXHIBIT REVISIONS

<b>EXHIBIT NO.</b>	<b>FORMERLY</b>
3-A	4-A
8-A	9-A
8-B	10-A
8-C	10-B
11-A	12-A
14-A	18-A
15-A	19-A
17-A	21-A
26-A	34-A
26-B	34-B
27-A	35-A
28-A	36-A
28-B	36-B
29-A	38-A

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## INTRODUCTION

## SECTION I

### 1.1 PURPOSE AND APPLICATION

1. The purpose of this Specific Plan is to implement the RiverLakes Ranch/Unibell Master Planned Community within the framework of the adopted Rosedale Community General Plan and Metropolitan Bakersfield 2010 General Plan. The provisions of this Specific Plan are intended to allow a diversity of uses, relationships and design of buildings while ensuring substantial compliance with the spirit, intent, and provisions of the General Plan.
2. Responsible development will be ensured through the adoption of this Plan. The Specific Plan will provide a development control mechanism that will serve both a detailed planning function and regulatory function by setting forth regulations and controls on the use of parcels and establishing guidelines and controls for the planning and design of improvement on the parcels.
3. The Specific Plan may only be adopted and amended by legislative action.
4. The RiverLakes Ranch Specific Plan has been adopted by resolutions of the City of Bakersfield. The plan establishes the type, locations, intensity, and character of development to take place.
5. The RiverLakes Ranch Specific Plan applies to approximately 1,900 acres of property which was known as the Rancho Laborde Community Master Plan designated "Specific Plan" in the Rosedale Community General Plan. A legal description of the property is contained on Page 3.
6. A Partial Amendment of Development Agreement 86-54 (the Rancho Laborde Development Agreement, April 16, 1986) has been adopted by City of Bakersfield Ordinance No. 3300 and executed with respect to revisions and modifications that the RiverLakes Ranch/Unibell Specific Plan has made over the previous Rancho Laborde Specific Plan.
7. A Technical Appendix has been provided in this Specific Plan document which includes copies of agreements made with the park districts, as well as City Council Resolutions adopting the General Plan Amendment (GPA 1-90, Segment III), Specific Plan and all subsequent amendments.

### 1.2 PLANNING PROCESS

1. On July 9, 1980, the Kern County Planning Commission adopted the Rosedale Community General Plan. One of the provisions of the General Plan is the requirement for a specific plan for the subject property.
2. On May 7, 1986, the Bakersfield City Council adopted the Rancho Laborde Specific Plan prior to the area's annexation into the City of Bakersfield.
3. On June 30, 1989, RiverLakes Ranch, Ltd., a California Limited Partnership, with Unibell International Co., Ltd. as its General Partner, purchased approximately 1383.5 acres of land within the Rancho Laborde Specific Plan area. On November 15, 1989, the Bakersfield City Council adopted resolutions changing the name of the Specific Plan to the "RiverLakes Ranch

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Specific Plan," effectively naming that development originally known as Rancho Laborde to RiverLakes Ranch regardless of land ownership.

4. Recent market analysis, as well as a revised Master Planned Community philosophy and concept under the current project ownership, necessitated modifications to the adopted Specific Plan. New land use and open space/ recreation planning for the area under new ownership resulted in this RiverLakes Ranch/Unibell Specific Plan.
5. On June 27, 1990, the Bakersfield City Council approved Resolutions 80-90 and 81-90 adopting the General Plan Amendment (GPA I-90, Segment III) and RiverLakes Ranch/Unibell Specific Plan Amendment.
6. In April, 1996, Fruitvale Properties, LLC acquired the remaining undeveloped land within the RiverLakes Ranch Specific Plan area, thus bringing RiverLakes Ranch under one ownership. On October 23, 1996, the Bakersfield City Council approved Resolution 122-96 changing the name of the specific plan back to the RiverLakes Ranch Specific Plan, deleting all references to "Unibell" and adopting several text changes to the document eliminating the two chapter format and incorporating one set of development standards to the Plan area.

## 1.3 AUTHORITY AND SCOPE

1. Application of the Specific Plan is authorized by California Government Code, Sections 65450 through 65553.

## 1.4 LOCATION

1. The property covered by this Specific Plan is located in the Rosedale community of Bakersfield, in central Kern County, approximately 3-1/2 miles west of State Route 99 (see *Vicinity Map*). The project site is bounded by Rosedale Highway (Route 58) on the south, Norris Road to the north, Coffee Road to the east, and Calloway Drive on the west (see *Exhibit 3-A*).
2. Legal Description: S/2 of Section 8, excluding the N/2 of the NW/4 of the SW/4 of Section 8; the S/2 of Section 16; all of Section 17; Section 20, excepting approximately 21.5 acres in the S/4 of the SW/4, and the N/4 of the NW/4 of Section 21, all in T29S, R27E, MDB&M.

## 1.5 DEFINITIONS

<i>Architectural Design Guidelines:</i>	Aesthetic development standards.
<i>City Council:</i>	City Council of the City of Bakersfield
<i>Cluster Lot Development:</i>	Development of single-family detached or single-family attached dwelling units, or a combination of such units on smaller lots to allow for common areas, such as park space and common visitors parking that is owned and maintained in common by all the units.
<i>County:</i>	Kern County
<i>Development Standards Review Committee:</i>	A committee established in the Specific Plan area to review site planning and proposed design and construction of buildings and structures within the residential and commercial areas to ensure



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## RiverLakes Ranch Specific Plan

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consistency with City of Bakersfield development ordinances, this specific plan and covenants, and to exercise other judgement to preserve and maintain the original design and character of the community.

Review of plans for the development of parks and school sites consistent with Development Standards will also be the responsibility of this committee.

The committee will be comprised of: a) the primary landowner, b) the primary landowner's consulting planner/engineer, and c) an appointee of the primary landowner.

The committee has been organized and has jurisdiction over the entire RiverLakes Ranch Development.

The committee does not replace the normal design review and permit review functions of the City.

**Patio Home:** A single-family dwelling located on an individual lot with only one side yard, and the wall of the building abuts the other side property line. This wall may be either a common wall shared with an adjoining single-family building or free standing with no windows or door openings.

**Planning Agency:** The City of Bakersfield, Planning Department

**Planning Director:** Director of Planning Department of the City of Bakersfield

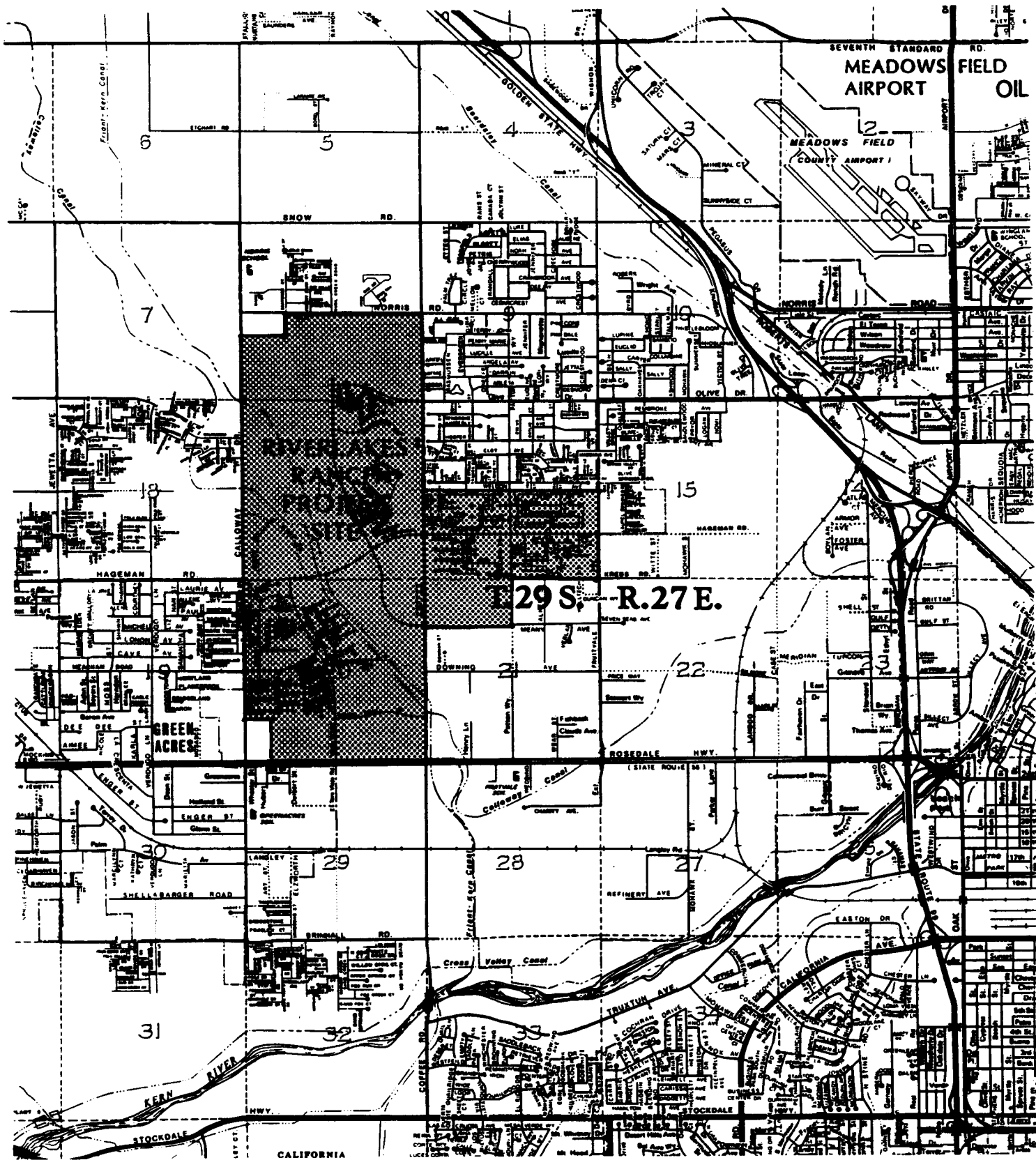
**Residential Land Use:** Any parcel or area of land devoted to housing and necessary accessory buildings and structures as defined in the City of Bakersfield Zoning Ordinance.

**Single-family Attached:** Single-family dwellings attached by common wall.

**Single-family Detached:** A one-family dwelling located on a lot designated for such use and with front, side and rear building setbacks.

### 1.6 GENERAL NOTES AND CONDITIONS

1. In accordance with California Government Code Section 65450 et. seq., all applicable development and design standards of the City of Bakersfield Land Use Zoning and Final Map Subdivision Ordinances shall apply. If the provisions of this Specific Plan are more restrictive than the specified ordinances, the most restrictive provisions shall take precedence. However, this does not preclude application for modifications and conditional use permits in accordance with the City of Bakersfield Land Use Zoning and Subdivision Ordinances.
2. If any regulation, condition, program, or portion of this Specific Plan is held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and the invalidity of such provisions shall not affect the validity of the remaining provisions hereof.



VICINITY MAP

RIVERLAKES RANCH SPECIFIC PLAN  
 Bakersfield, California  
 EXHIBIT 3-A

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3. All construction within the boundaries of the Specific Plan shall comply with all provisions of the adopted Uniform Building Code and the various mechanical, electrical, and plumbing codes adopted and administered by City of Bakersfield.
4. Drainage facilities shall comply with the requirements of the City of Bakersfield Public Works Department or other agency as may be designated.
5. Sewage facilities shall comply with the requirements of the City of Bakersfield Public Works Department or other agency as may be required.
6. Water, electricity, gas, telephone, and cable services shall comply with the requirements of the City of Bakersfield Laborde Division, Southern California Gas Company/Pacific Gas and Electric Company, Pacific Telephone Company, and cable companies, respectively.
7. Emergency services and police protection shall comply with the requirements of City of Bakersfield.
8. Fire protection shall comply with the requirements of the City of Bakersfield Fire Department.
9. The educational system and school facilities shall comply with the requirements of the Norris School District, Fruitvale School District, and Kern County High School District, and the standards specified in this Specific Plan.
10. Public parks shall comply with the intent of the requirements of the City of Bakersfield through agreements executed with the North Bakersfield Recreation and Park District and the standards specified in this Specific Plan.
11. The California Archeological Center at California State University, Bakersfield shall be contacted immediately if any archaeological or historical sites or artifacts are uncovered during excavation.
12. The Rancho Laborde Development Agreement, adopted by Ordinance 3039 N.S. of the City of Bakersfield, and the partial amendment to this agreement, further defines policies and implementation of this plan.
13. The mini-park located at the southwest corner of Coffee Road and Olive Drive shall be designated OS-P (Open Space-Parks) and have Open Space zoning.
14. Adjacent to the golf course entrance on RiverLakes Drive, a 4.8 gross acre area has been set aside as open space (OS/OS-P) intended for use as a park by both the golf course and the RiverLakes Ranch Master Association. Parking on this site shall be restricted so that it does not exceed approximately 20% of the total area of the park.

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## **SPECIFIC PLAN CONCEPT**

## **SECTION II**

### **2.1 PLANNED COMMUNITY OBJECTIVES**

1. Established development policies to provide a combination of residential, services, and production land uses in a phased and controlled manner that will be diverse enough to provide for many of the social and physical needs of the residents, including housing, recreation, employment, and shopping.
2. Carefully planned growth which avoids patchwork development of incompatible or non-complementary uses.
3. The potential for citizen and government review and control of development, including wide-scale implementation of design standards and phased development of combined public and private services, such as recreation facilities.
4. Economies of scale which permit reduced end unit costs to home buyers.
5. Assurance of sufficient land and population to support a full range of recreational amenities, including a community park, golf course, lake and beach club and bicycle paths.
6. The potential for mixed use development which can incorporate a wide range of housing types to accommodate varying lifestyles and age and economic groups and promote high levels of community services not possible in lower density single use developments.
7. Net reduction of energy consumption through large-scale orientation of buildings and reduced dependence on vehicular travel.

### **2.2 FEATURES OF THE SPECIFIC PLAN**

1. Master Planned Community concept.
  - a. An integrally planned community composed of a series of distinctive and varied residential neighborhoods that are interconnected by an extensive open space system as well as pedestrian and bicycle paths.
  - b. A variety of residential product types that offer a mixture of lot sizes, configurations and amenity orientations.
  - c. An open space and recreation system which is integrated with the residential and commercial land uses and includes over 280 acres of golf course, a lake, water feature, neighborhood and community parks, landscaped street scapes and pedestrian and bicycle paths.
2. High school and elementary school sites incorporated into residential neighborhoods and conveniently located, at sites jointly selected with the respective school district staffs, to accommodate the student population.

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## **RiverLakes Ranch Specific Plan**

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3. A major commercial development along Rosedale Highway to serve the retail, service and entertainment needs of the regional population. This development shall be consistent with the "centers" land use pattern as identified for the urban northwest in the Metropolitan Bakersfield 2010 General Plan. Smaller, neighborhood retail nodes are located at the periphery of the community providing for local day-to-day needs.
4. A premier 18-hole public golf course, including a clubhouse, along with lake and related recreational facilities centrally located within residential neighborhoods.
5. Extensive landscaped corridors along major arterials and collectors and along pedestrian and bicycle path circulation that link all parts of the community internally as well as with other parts of the city.
6. A circulation and bus system that provides for efficient traffic flow, reduced need for automobile trips, optimal emergency access and effective separation between vehicular, pedestrian and bicycle circulation.

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## LAND USE

## SECTION III

### 3.1 LAND USE OBJECTIVES

1. Integrate local community facilities, open space systems and recreational activities within the residential environment.
2. Create a compatible mixture of land uses that provides diversity and accommodates a wide range of housing, shopping, and employment needs.
3. Avoid conflict between incompatible land uses and provide buffering elements where appropriate.
4. Create efficient density patterns that reflect a diverse residential and commercial development.

### 3.2 LAND USE PROGRAM AND PLAN

1. The land uses identified for this Specific Plan shall be consistent with the land use designations, amount, and densities illustrated on the following *Land Use Plan and Summary*. The land use designations are also consistent with the Metropolitan Bakersfield 2010 General Plan. Overall densities of commercial and residential land uses within the Specific Plan are in general conformance with those previously established in the Rancho Laborde Plan. The location of these land uses shall be consistent with the *Land Use Plan*. All densities are computed on the basis of "net" site areas shown in the *Summary*. These figures include required local road right-of-way and existing easements. "Net" shall be further defined as excluding offers of public street dedications for arterials, collectors and local collectors, public facilities and conservation/open space land uses. It is recognized that minor adjustments to "net" site areas may occur as precise locations of bridge crossings, oil-gas lines, road alignments, etc. are determined in the future. Development of local streets is likely to reduce the maximum number of residential units since conformance to minimum lot size excludes local streets and easements (*see Exhibit 8-A*).
2. Features introduced in this Specific Plan under the Conservation/Recreation Land Use are an eighteen hole golf course, a lake, neighborhood park and a community park. These elements, along with a variety of linear parks, will be integrated within the residential land uses. Bike trails will serve to link public facilities, recreation and residential land uses.
3. Residential densities reflect a wide variety of housing opportunities, both in detached and attached product types. Neighborhood, as well as regional, shopping opportunities also exist. These are located along arterials for convenient access without traversing through residential neighborhoods. Higher density residential development will buffer the Major Commercial uses along Rosedale Highway from lower density residential land uses. Physical buffers between commercial and any residential use will be screen walls conforming to City of Bakersfield requirements.

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## RiverLakes Ranch Specific Plan

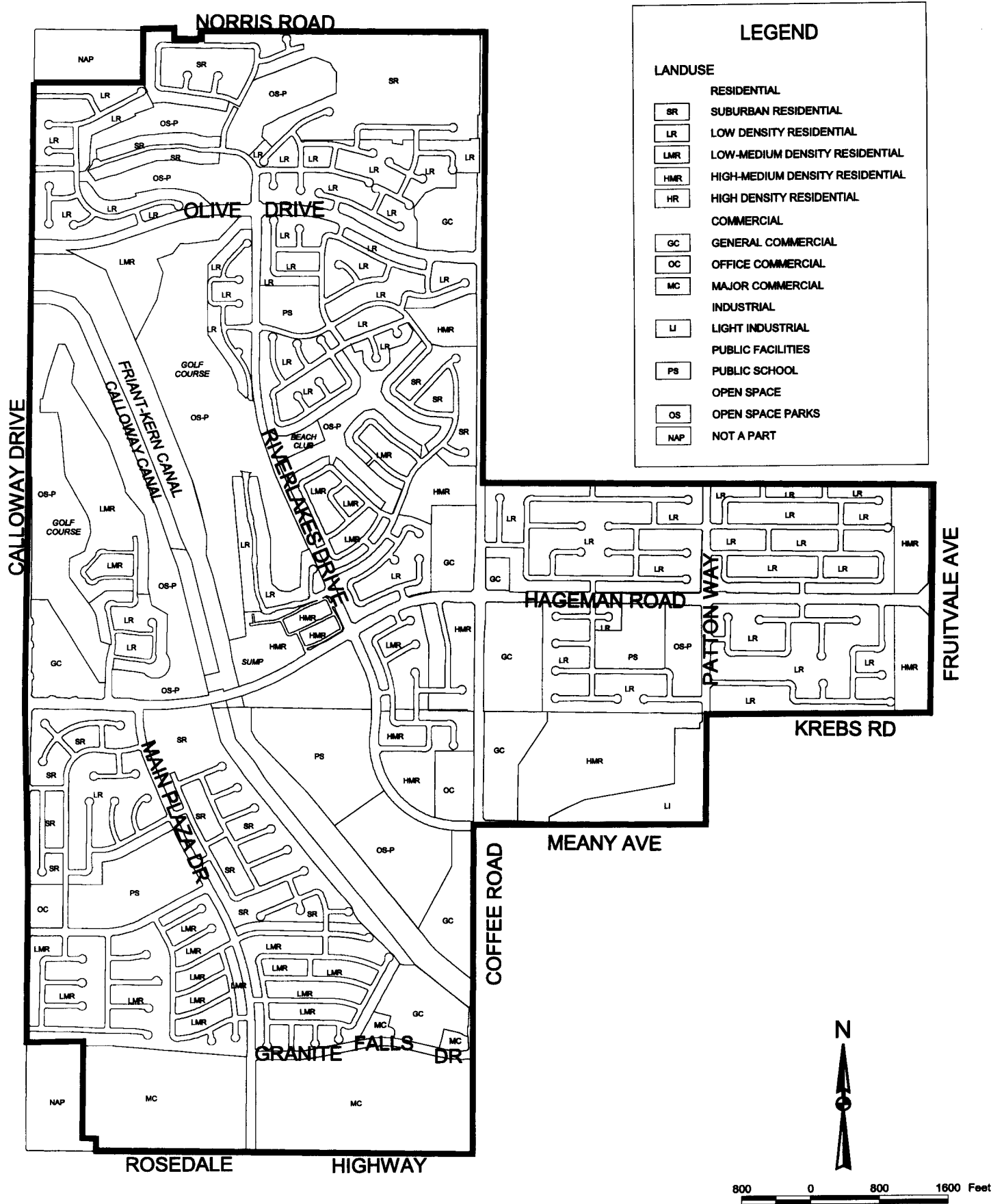
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4. The following *Zoning Plan* will provide the basis for future zoning of the *Land Use Plan* in conformance with the Bakersfield Municipal Code, Title 17-Zoning (1986). Development of final tract maps and parcel maps will establish precise zoning boundaries (see *Exhibit 8-B*)

### 3.3 DEVELOPMENT PHASE PROGRAMS AND PLANS

1. The *Development Phasing* program reflects the logical sequence of development ensuring an orderly and economically viable progression and should be used as a general guide for preparing detailed development plans and tentative tract maps (see *Exhibit 8-C*).
2. Minor deviations from the development programs and plans, illustrated herein, will be permitted due to new and more detailed information that will be available at the time that the precise plans are prepared and submitted for approval. Any deviations may be approved by the Planning Director, based upon his review of such precise plans. However, increases in the total amount of development specified in the Land Use Program will require an amendment of this Specific Plan.

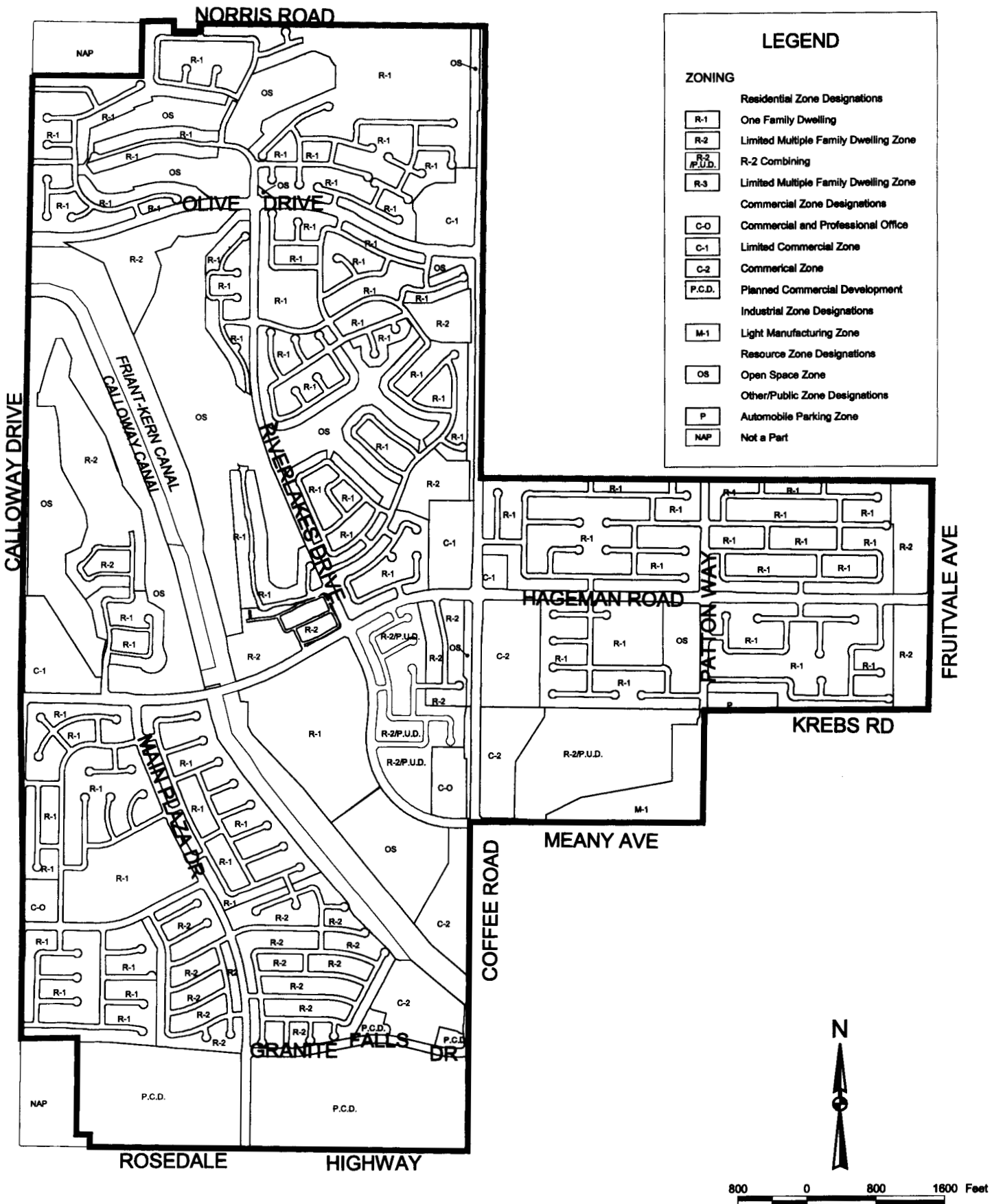


# CONCEPT LAND USE PLAN

RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California

EXHIBIT 8-A

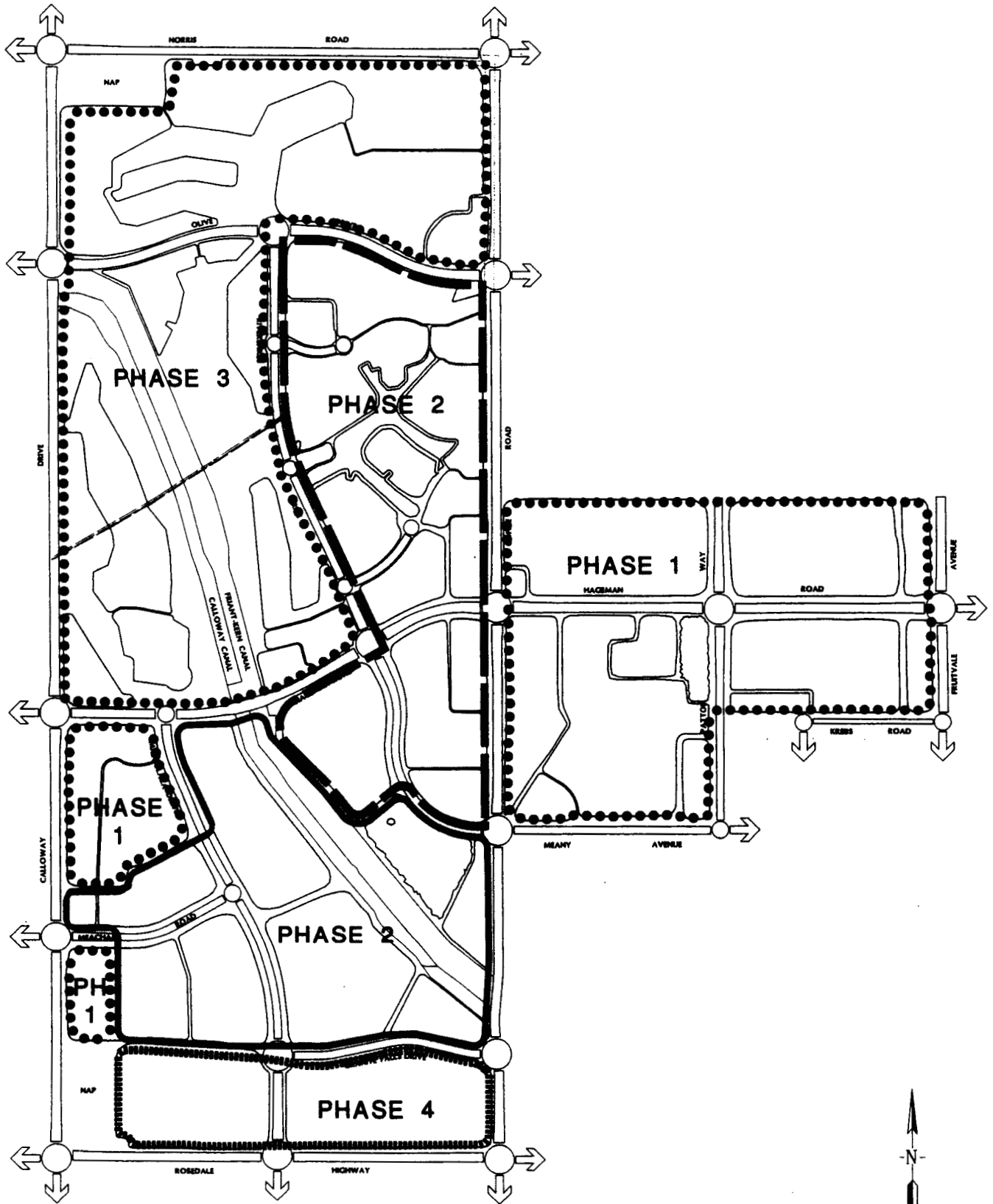




# CONCEPT ZONING

RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California

EXHIBIT 8-B



# DEVELOPMENT PHASING

RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California

EXHIBIT 8-C

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## CIRCULATION

## SECTION IV

### 4.1 CIRCULATION OBJECTIVES

1. Establish a comprehensive circulation system for all models of transportation and provide for efficient connections throughout the plan, as well as linkages with the regional circulation system of the Rosedale Metropolitan Bakersfield area.
2. Provide also for secondary recreational opportunities by incorporating pedestrian and bicycle pathway circulation along open space elements.

### 4.2 CIRCULATION GOALS

1. Provide for a circulation system which will support all planned land uses and transportation needs.
2. Maintain to the maximum extent possible the Metropolitan Bakersfield 2010 General Plan circulation framework of controlled access to Arterial Streets at every mile interval and Collector Streets at every half-mile interval.
3. Minimize the number of canal crossings utilizing efficient locations.
4. Serve residential neighborhoods by local streets from the arterial and collector street system. Minimize through traffic in residential neighborhoods. (Incorporate screen wall and landscaping treatment at the right-of-way or easement line separating arterial and collector streets from low density residential areas).
5. Locate retail centers at or near intersections of arterial or collector streets to reduce unnecessary traffic and provide easy access for residents.
6. Extend bus services to serve the area when feasible. Provide for a future bus transfer point within the Major Commercial land use along Rosedale Highway.
7. Maintain adequate traffic safety.
8. Locate pedestrian and bicycle paths within street right-of-way widths as well as where feasible along portions of the lake development. These paths shall provide for transportation linkages as well as for recreational opportunities.

### 4.3 CIRCULATION SYSTEM DESIGNATIONS

1. Public and private development of the circulation system shall correspond to the following system classification:
  - a. **Arterial Street:** Generally located at one mile intervals; four or six traffic lanes with a 110-foot right of way (see Exhibit 11-A).

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- b. **Collector Street:** Generally located at half-mile intervals with Four traffic lanes and a 90-foot right-of-way. The project shall also include a "Collector-Alternate-Section" designation for RiverLakes Drive as detailed in the Subdivision Design Manual and shown on the *Circulation Plan* providing two traffic lanes within a 90-foot right-of-way and increased landscaping between right-of-way and curb line. A meandering sidewalk within this parkway will be incorporated (*see Exhibit 11-A*).
- c. **Local Collectors:** 60-foot right-of-way with two traffic lanes in an expanded pavement section; provides access to local streets. In accordance with Section 16.28.170E of the City Municipal Code, the Advisory Agency shall make a determination that the topographical conditions permit no other reasonable form of platting when approving tracts having double frontage lots between local streets and collectors. Local collectors which are functionally classified as collectors shall be designed to geometric standards for collectors (*see Exhibit 11-A*).
- d. **Local Streets:** Located to minimize through traffic; provides direct access to adjacent property with two traffic lanes, a minimum flow-line to flow-line width of 40' and a right-of-way width of 60'.
- e. **Residential cul-de-sac streets:** Provides direct access to adjacent property with two traffic lanes, a minimum flow-line to flow-line width of 36' and a right-of-way width of 60'. The right-of-way width of straight cul-de-sac streets less than 500' in length may be 52'. Cul-de-sac streets which are extensions of local streets shall have a flow-line to flow-line width of 40'.
- f. **Bikeways:** Located primarily along routes shown on the *Open Space Plan*, within Arterial and Collector street sections, and conforming to the Metropolitan Bakersfield Bikeway Master Plan. Bikeways shall also be located in landscaped parkways along Coffee Road, and along portions of the south lake development. Pavement width for right-of-way widths for arterials and collectors incorporating bike lanes shall conform to the Circulation Element of the General Plan (*see Exhibit 14-A*).

#### 4.4 CIRCULATION PLAN

1. The road circulation system and bikeway system shall be located and constructed as shown on the *Circulation* and *Open Space Plan* respectively and shall be consistent with the adopted Metro Bakersfield Bikeway Master Plan (*see Exhibits 11-A & 14-A*).
2. It is understood that arterials, collectors and intersections with local streets are only conceptually depicted on the Specific Plan maps, and that these may undergo adjustment and realignment as either Planned Unit Development and/or Tract Maps are prepared and submitted for approval. These refinements do not require revisions to the Specific Plan.
3. Per City of Bakersfield Subdivision design standards, it is understood that potential secondary ingress/egress points from residential areas to collector and arterial streets (e.g., Norris Road, Olive Drive, and Hageman Road) will be provided as required. Along Norris Road, such access points, if provided, shall occur at roughly one-third points from Coffee Road to Calloway Drive.

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4. Access points into residential developments shall be separated from signalized intersections per City of Bakersfield Subdivision design standards.
5. Access from residential land uses directly to Coffee Road shall be prohibited except from Norris Road, Olive Drive, Hageman Road and RiverLakes Drive. Driveways or other access roads for residential uses shall not allow vehicle access to Coffee Road.
6. Local Collectors, as depicted on the Circulation Plan, shall be treated as major roads which prohibit direct access to adjacent property. Wall and landscape treatments will be developed at the edges of these streets and as such, double frontage residential lots will be permitted along these Local Collectors.

### 4.5 STREET DEVELOPMENT STANDARDS

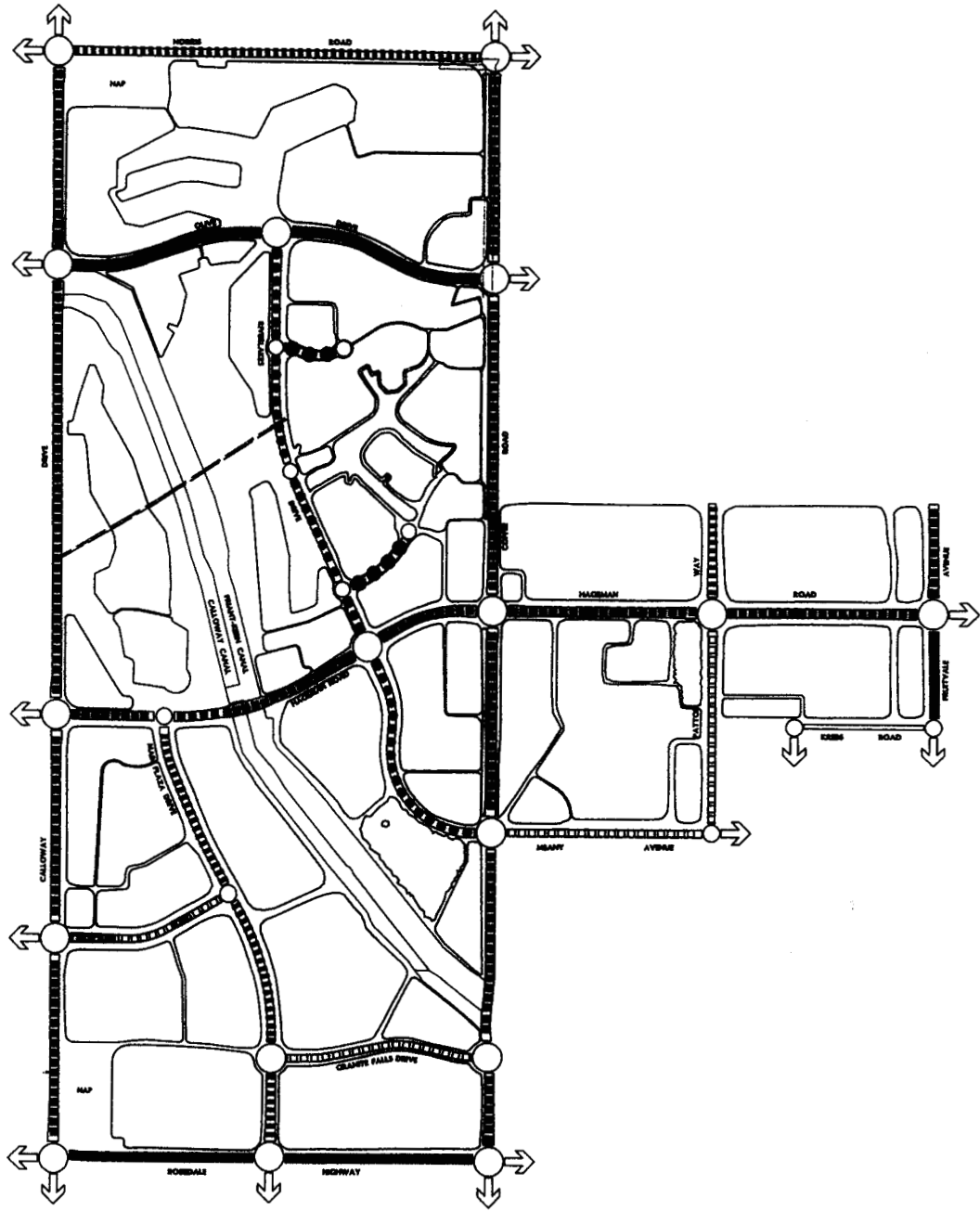
1. Minimum street standards shall comply with the provisions of the current City of Bakersfield Street Standards.
2. The Hageman Road, Calloway Drive, and Coffee Road crossings of the Friant-Kern and Calloway Canals shall be constructed, located, and maintained according to the conditions specified by the Water and Power Resources Service of the U.S. Department of the Interior for the Friant-Kern Canal, and the City of Bakersfield for the Calloway Canal.

### 4.6 BIKEWAY SYSTEM STANDARDS

1. Bikeways shall be as shown on the *Open Space Plan* as conforming to the Metro Bakersfield Bikeway Master Plan. Design standards shall conform to the current State of California Department of Transportation adopted standards (*see Exhibit 14-A*).
2. Bikeways shall be constructed within the street right-of-way widths where applicable. Bikeways along the lake shall enhance the public recreation opportunity.

### 4.7 BUS SERVICE

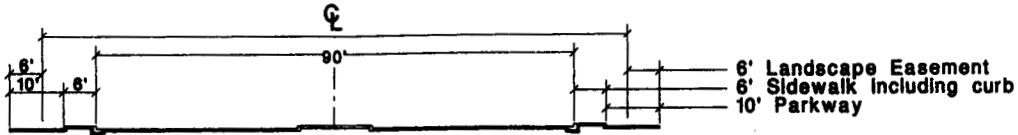
1. Bus service shall be provided to serve the area when the Golden Empire Transit District determines that there is sufficient population to support a route.
2. Route locations and bus stops shall be selected to reinforce the residential, commercial, and the office/retail areas as well as the Major Commercial "center" along Rosedale Highway as major activity and transportation nodes. Provisions for a bus transfer point shall be made at the Major Commercial "center".



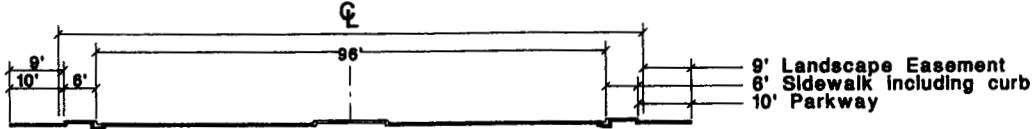
CIRCULATION PLAN

# LEGEND

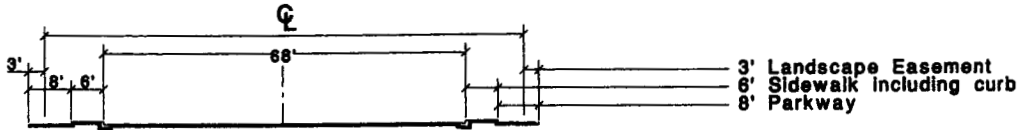
## ARTERIAL (without bikeway) 110' R.O.W.



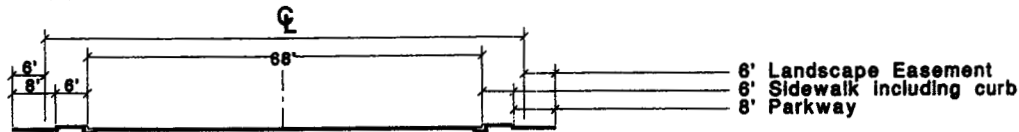
## ARTERIAL (with bikeway in paved area) 110' R.O.W.



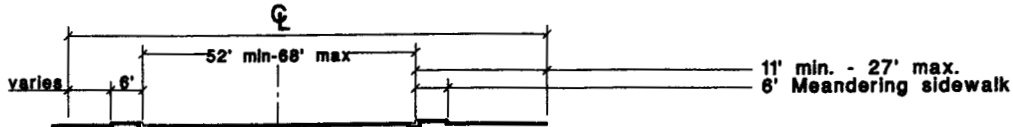
## COLLECTOR (without bikeway) 90' R.O.W.



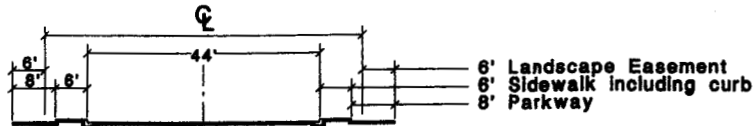
## COLLECTOR (with bikeway in paved area) 90' R.O.W.



## COLLECTOR-Alternate Section 90' R.O.W.



## LOCAL COLLECTOR 60' R.O.W.



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## HOUSING

## SECTION V

### 5.1 OBJECTIVES

1. Provide a broad range of residential types to help meet the housing needs of Metropolitan Bakersfield, covering both ownership and rental units, detached as well as attached products.
2. Provide attractive well-planned residential areas that encourage efficient land and energy utilization.
3. Provide for residential areas that benefit from a variety of amenities that increase open space and recreational opportunities.

### 5.2 CONCEPT

1. Higher density housing types will be located adjacent to arterials and collectors and adjacent to commercial areas, buffering those from lower density residential land uses.
2. Lower density housing types will be located central to the development, abutting the lake and golf course developments as well as school and park sites.
3. Patio homes will be encouraged adjacent to golf course and lake development to conserve open space while maximizing useable lot area.

### 5.3 HOUSING LOCATION, TYPES, AND DENSITIES

1. Housing location, types, and densities shall be developed in general conformity with the *Land Use Plan* presented in Section III, and development standards presented in Section XI (see *Exhibit 8-A*).
2. The maximum number of dwelling units permitted by the Specific Plan shall be 4,430. The dwelling unit cap shall apply to that portion of the specific plan area west of Coffee Road formerly referred to as the "Unibell Specific Plan" and shown on the Land Use Plan (see *Exhibit 8-A*). The approximate number of dwelling units within each residential development area is established based upon the Land Use Plan. Maximum densities may not be achieved on every property. Adjustments in design (e.g., density, product type and development standards) of a residential development area may be transferred to another development area, subject to approval of the Planning Director provided the transfer does not exceed 10% and is consistent with the overall design objectives of this document.
3. The boundaries of individual development areas and acreages are approximate. Precision is limited by the scale at which the Land Use Plan is drawn. Precise planning area boundaries and acreages will be established in conjunction with the submittal and review of subdivision plans. Minor acreage and boundary variations shall be permitted, subject to approval of the Planning Director without an amendment to the Specific Plan document.
4. Transfer of densities within individual development areas shall be considered consistent with the General Plan provided the overall maximum 4,430 dwelling units is maintained and the general location of development areas is approximate to the area shown on the Land Use Plan.



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# RiverLakes Ranch Specific Plan

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## CONSERVATION/OPEN SPACE

## SECTION VI

### 6.1 OBJECTIVES

1. Provide adequate facilities to serve the recreational needs of the residents within the Specific Plan area as required by the North Bakersfield Recreation and Park District.
2. Provide for a wide variety of recreational and open space opportunities integrated within the overall community development.

### 6.2 CONCEPT

1. Agricultural use of the land will be continued until it is required for development, in accordance with the policies of this Specific Plan, or becomes financially infeasible.
2. A 28.1 acre parcel shall be reserved as a community park site to serve a five to seven square mile area. This park shall be developed and maintained by the North Bakersfield Recreation and Park District or other approved public entity.
3. An eighteen hole public golf course roughly 217 acres shall be developed with club house and driving range facilities. The course will be privately maintained and operated as a "daily fee" course.
4. Adjacent to Coffee Road, linear parks will be developed utilizing portions of the P G & E transmission line easement. This parkway shall range from 25 feet adjacent to commercial land to 50 and 84 feet adjacent to high-medium density suburban and low density residential land uses respectively.

The linear park along Coffee Road shall be constructed by the applicant or its successor and placed in a maintenance district concurrently with the adjacent subdivision or parcel map. The linear park from Olive Drive north to Norris Road and from Hageman Road south to RiverLakes Drive shall be constructed in no more than three phases each. Those portions of the linear park adjacent to commercial land uses shall be constructed and maintained by each respective parcel owner/developer.

5. One lake totaling approximately 17 acres will be constructed adjacent to various residential land use densities. The lake will be augmented by a beach club/multi-purpose facility for group activities. Adjacent to the lake and beach club will be a swimming facility with a sand beach. The lake shall support a limited amount of natural ecology in the form of water fowl and stocked fish. Recreational amenities of the lakes and beach club may include fishing, non-motorized passive boating, with the exception that electric powered boating will be allowed, swimming, a limited pedestrian and bicycle pathway, picnicking and sand volleyball.
6. Residential neighborhoods may include common open space amenities improved by the project developer and maintained by a Homeowner's Association or Maintenance District. This may include project entries which incorporate monument signing, special paving and/or landscaping. The design of common open space areas will be reviewed by the City of Bakersfield and/or other agencies having jurisdiction at the time that Tentative Tract Maps are submitted for approval. The pedestrian and bicycle path along the Friant-Kern Canal will be deleted from the plan.

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## RiverLakes Ranch Specific Plan

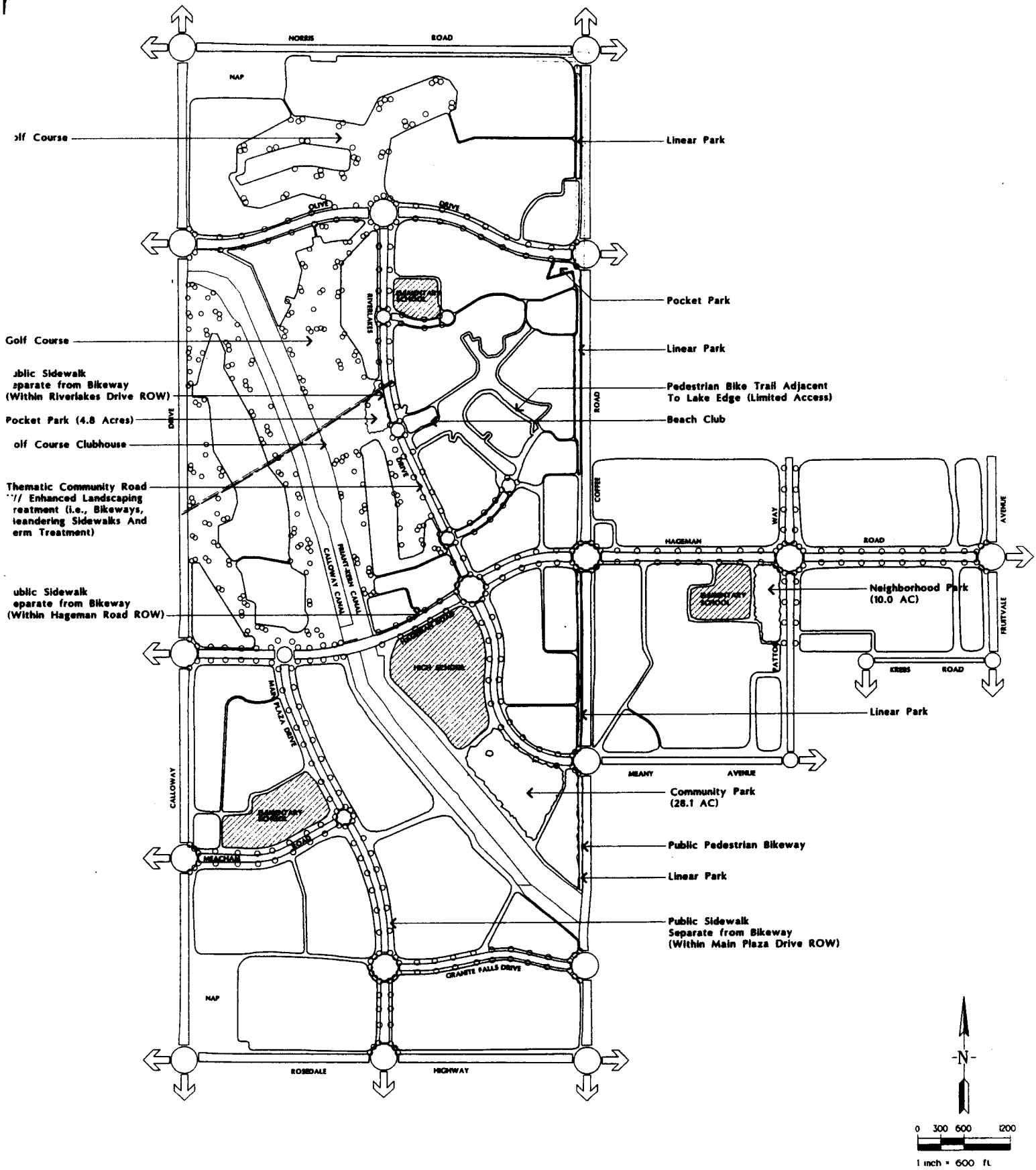
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7. Multiple family residential project may also include on-site recreation centers for use by project residents.

### 6.3 OPEN SPACE SYSTEM DESCRIPTION AND LOCATION

1. The open space/conservation system is illustrated on the *Open Space Plan and Summary*. All parks and other open space elements shall generally be located in accordance with the *Land Use and Open Space Plans (see Exhibits 8-A & 14-A)*.
2. Provisions for the park requirement have been made by agreement with the North Bakersfield Recreation and Park District (see *Technical Appendix*).



Golf Course

Linear Park

Golf Course

Pocket Park

Public Sidewalk  
separate from Bikeway  
(Within Riverlakes Drive ROW)

Linear Park

Pocket Park (4.8 Acres)

Pedestrian Bike Trail Adjacent  
To Lake Edge (Limited Access)

Golf Course Clubhouse

Beach Club

Thematic Community Road  
with Enhanced Landscaping  
treatment (i.e., Bikeways,  
meandering Sidewalks And  
warm Treatment)

Public Sidewalk  
separate from Bikeway  
(Within Hageman Road ROW)

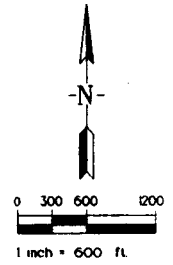
Neighborhood Park  
(10.0 AC)

Community Park  
(28.1 AC)

Public Pedestrian Bikeway

Linear Park

Public Sidewalk  
Separate from Bikeway  
(Within Main Plaza Drive ROW)



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# RiverLakes Ranch Specific Plan

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## NOISE

## SECTION VII

### 7.1 OBJECTIVE

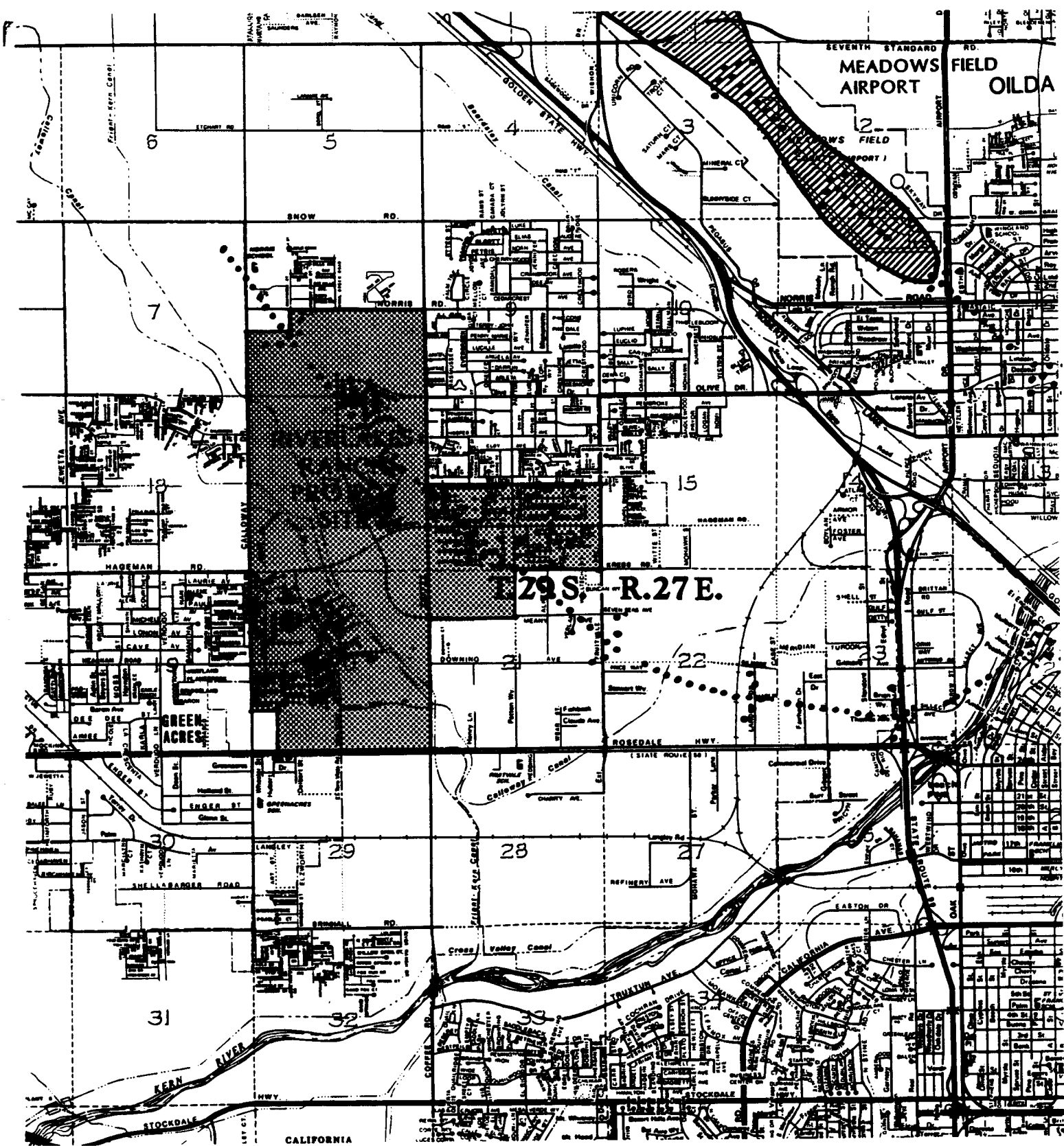
1. Minimize and control adverse noise pollution and impacts through planning and application of appropriate design principles and criteria.

### 7.2 CONCEPT

1. Locate noise-sensitive land uses and noise-generating areas away from each other.

### 7.3 PLANNING AND DESIGN

1. Use landscaping, walls, or berms to shield residential and other noise sensitive areas from noise impacts generated from arterials and collectors.
2. Prohibit commercial uses which will generate objectionable noise to adjacent uses.
3. Locate commercial uses on arterials and collectors to permit short and direct travel distance to the regional road system.
4. Locate commercial uses to act as a buffer zone between residential areas and noise generators such as Rosedale Highway and the industrial uses to the east of the Specific Plan area.
5. While Kern County's Meadows Field Airport is located three miles northeasterly and will not cause any serious noise impact, prospective buyers of properties in the Specific Plan area shall be informed that the landing pattern of some jet aircraft crosses over a portion of the area (see *Noise Contour Map*) at an average altitude of 1,500 feet (see *Exhibit 15-A*).
6. All future development shall conform to the standards of the Noise Element of the Metropolitan Bakersfield 2010 General Plan.



**NOISE CONTOUR**

**RIVERLAKES RANCH SPECIFIC PLAN**  
 Bakersfield, California  
 EXHIBIT 15-A

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# RiverLakes Ranch Specific Plan

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## **SAFETY**

## **SECTION VIII**

### **8.1 OBJECTIVES**

1. To reduce the incidence of accidents, crime, loss of life, personal injuries, and damage to properties by comprehensive community planning.
2. Reduce the loss of life, injuries, damage to property, and economic and social dislocation resulting from earthquakes and other hazards.

### **8.2 CONCEPT**

1. Provide adequate police and fire protection service for the entire community.
2. Locate land uses with respect to known fault lines.
3. Construct buildings to resist seismic activity to the greatest extent feasible.

### **8.3 PLANNING AND DESIGN CRITERIA**

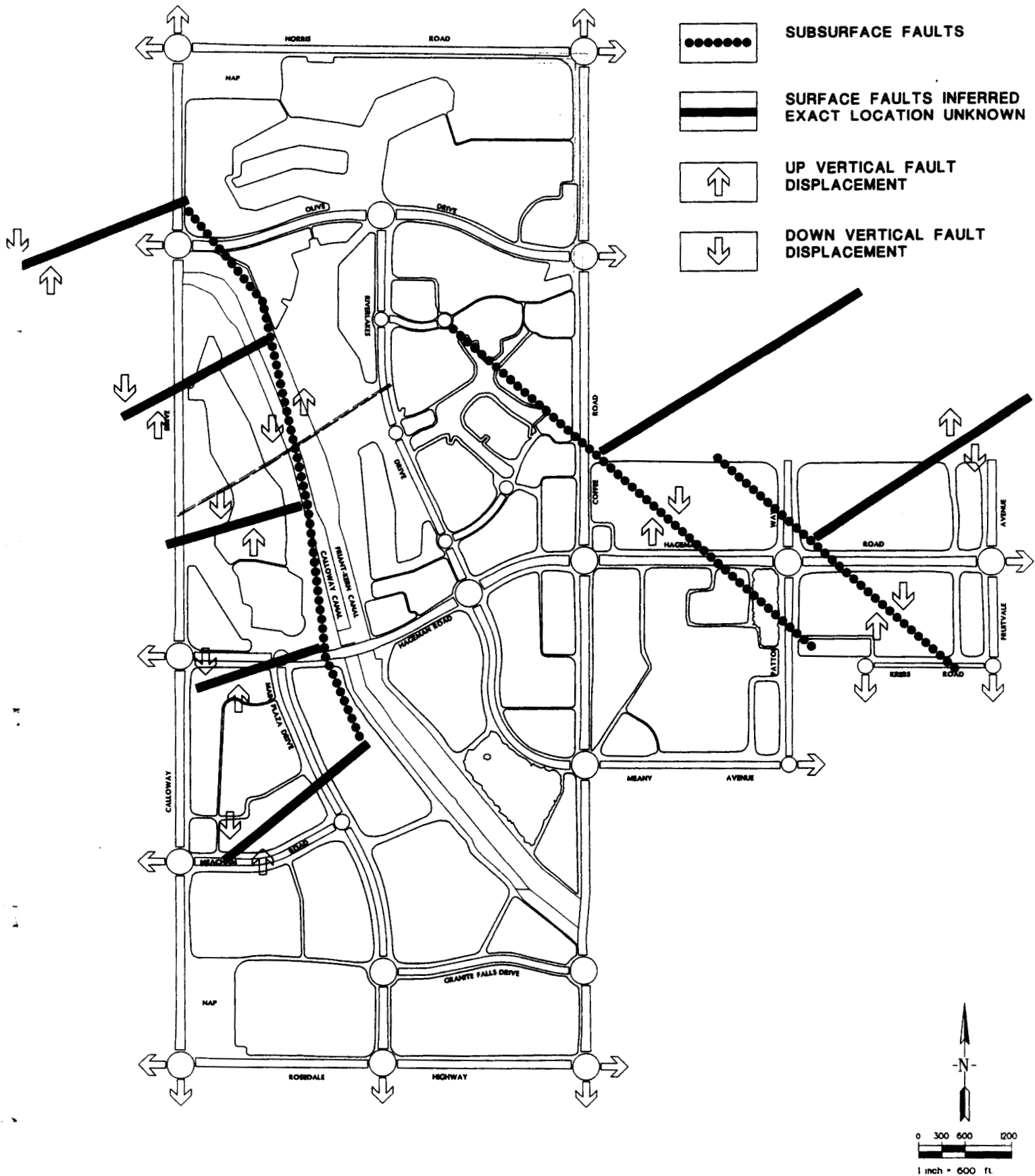
1. Provide and equip fire stations, pursuant to requirements of the Joint Power Agreement between the Kern County Fire Department and the City of Bakersfield Fire Department, at locations according to adequate planning and design standards.
2. Provide and equip police stations pursuant to the requirements of the City of Bakersfield according to adequate planning and design standards.
3. Locate, design, and install fire hydrants in accordance with City of Bakersfield standards and with the approval of the City of Bakersfield Fire Department.
4. Provide adequate water supply and pressure for fire fighting purposes.
5. Ensure efficient planning and design of the street system for quick response of police and fire services.
6. Reduce fire and safety hazards through enforcement of building and development codes, Fire Department regulations, and other safety measures.
7. Design and provide a safety fence along the Friant-Kern and Calloway Canals, according to specifications and standards required by the U.S. Department of the Interior, the North Kern Water Storage District and the City of Bakersfield.

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## RiverLakes Ranch Specific Plan

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8. All structural development shall conform to the Uniform Building Code, as administered by the City of Bakersfield, to provide an adequate level of protection from earthquake damage.
  
9. No public assembly building shall be constructed on known subsurface or surface faults (*see seismic conditions map*). Where faults may potentially affect public uses such as parks, schools or churches, the Precise Plan for their development shall show building placement (as, for example, compared with athletic fields, parking lots, etc.). If necessary, specific geological reports shall be prepared for sites which overlay historical faults. Where faults may potentially affect critical or essential facilities, including but not limited to fire stations, hospitals, police stations, government administrative offices and ambulance facilities, should be covered by a specific geological report prepared for each such location. The precise plans for their development shall show building placement compared to open space/parking lots. If necessary, specific geological reports shall be prepared for sites which overlay historical faults (*see Exhibit 17-A*).



# SEISMIC CONDITIONS

RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California

EXHIBIT 17-A



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# RiverLakes Ranch Specific Plan

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## COMMUNITY SERVICES AND FACILITIES

## SECTION IX

### 9.1 OBJECTIVE

1. Provide adequate community facilities to support the diversity of land uses established by the RiverLakes Ranch Specific Plan.

### 9.2 CONCEPT

1. Provide a community park site, developed with facilities as prescribed by the North Bakersfield Recreation and Park District, to serve a five to seven square mile area.
2. Provide park and school sites as shown on the *Land Use Map (see Exhibit 8-A)*.

### 9.3 COMMUNITY SERVICES

1. **Water.** Domestic water will be supplied by the City of Bakersfield.
2. **Sewage Collection and Treatment.** All new development within the Specific Plan area shall be serviced by sewage collection and processing by the City of Bakersfield.
3. **Solid Refuse.** Solid refuse collection will be by private contractors or the City of Bakersfield and disposed in an approved landfill.
4. **Gas and Electricity.** Gas and electric services are provided by the Southern California Gas Company and Pacific Gas and Electric Company.
5. **Telephone/CATV.** Pacific Bell company services the area, and cable television, as available, shall be provided per City of Bakersfield Standards.
6. **Police/Fire.** Police services will be provided by the City of Bakersfield Police Department. Fire protection will be provided by the Kern County and City of Bakersfield Fire Departments through a Joint Power Agreement.
7. **Utility Lines and Easements.** The location, design, and construction of utility lines and easements, including water and sewers, within the right-of-way of the Friant-Kern and Calloway Canals, shall be subject to approval of City of Bakersfield, the U.S. Department of the Interior and the Friant Water User's Authority for crossings of the Friant-Kern Canal, and the City of Bakersfield and the North Kern Water Storage District for crossings of the Calloway Canal. Such other entities may be required to approve easement locations as determined necessary.

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## RiverLakes Ranch Specific Plan

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### 9.4 ON-SITE COMMUNITY FACILITIES

1. **Schools.** Two elementary school districts, Fruitvale and Norris, serve the plan area. A total of three school sites (two in Fruitvale and one in Norris) were selected jointly with the districts and have been acquired by the districts. Development of these school sites shall be dependent on precise school district needs at the time facilities are required. Pursuant to an agreement with the Norris School District, all of the area within that district has been annexed in RNR Community Facilities District #92-1 which will ensure that funding is available when needed for facilities to serve the plan area. The area is also within the Kern High School District. Centennial High School has been constructed and is operating on a site in the plan area selected with the district. An agreement with the district for a portion of the plan area rezoned in 1992 provides for adequate mitigation of the effects that residential development of that portion will have on high school facilities.

2. **Parks and Recreation.** A community park, a lake, bikeways and the golf course shall be provided in accordance with the *Open Space Plan (see Exhibit 14-A)*.

The community park, and the recreation facilities constructed thereon, shall be developed, operated and maintained by the North Bakersfield Recreation and Park District or other approved entity. The community park site has been reserved by agreement with the District (see Technical Appendix).

Development of the linear parks, lake, and the golf course shall be borne by the developer or entities other than the Park District. Maintenance of the linear parks, and lakes shall be by Maintenance District and Homeowner's Association, respectively. The golf course shall be privately operated and maintained. Credit towards the park requirement of the project, through the designation and development of the lake, beach club and golf course has been established by agreement with the District (see Technical Appendix).

3. **Stormwater Drainage.** Detailed design of a master stormwater drainage system shall be approved by the City of Bakersfield Public Works Department prior to submittal of tentative subdivision map or development plan within any of the four development phases of the Plan. The existing Planned Drainage Area for the Rancho Laborde plan area shall be revised to reflect the amended Specific Plan area. Revisions to the PDA shall be as approved by the City. Increases in PDA fees, if any, shall be proportioned over the Specific Plan area only. All systems shall be designed to the City of Bakersfield standards.

The overall stormwater drainage system concept for the Specific Plan area consists of joint use of portions of park land or open space (e.g., the lake and golf course) for retention and eventual percolation, of stormwater. Stormwater runoff utilizing the lake shall incorporate methods to prevent initial stormwater flows from polluting the lake while at the same time benefitting from the dilution capacity from major storm flows. This system shall be approved by the City Engineer.

In areas such as the Major Commercial portion of the project along Rosedale Highway where there are no parks or open spaces large enough to serve as retention ponds, sub-retention basins and sumps shall be provided to collect and transport the area stormwater to a retention pond nearby. Any sub-retention basins and sumps shall be approved by the City and conform to the approved PDA plan as revised.

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# RiverLakes Ranch Specific Plan

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## DEVELOPMENT PHASING

## SECTION X

### 10.1 OBJECTIVE

1. Control the rate and location of development to correspond with market conditions and efficient development of supporting community facilities and services as well as infrastructure.

### 10.2 DEVELOPMENT PHASING PLAN

1. Projections in 1989 indicate that total project build out is anticipated in from eight to ten years from adoption of the Specific Plan.
2. The project has been delineated in four phases as shown on the Development *Phasing Plan* (see *Exhibit 8-C*).

### 10.3 PUBLIC FACILITIES AND SERVICES PHASING PLAN

1. The supporting infrastructure of roads, water, sewer, electric, gas, and telephone services shall be completed as required to serve the plan area. All streets shall be constructed as required by City of Bakersfield and all street development phases shall correspond directly to the phasing of land use development.

Coffee Road has been constructed to extend south of Rosedale Highway. Hageman Road has been constructed from Coffee Road to Calloway Drive.

2. Provisions for new school sites and facilities shall be as set forth in agreements with the respective school districts.

The Agreements, which shall be on file with the Planning Department, each elementary school District and the Developer, establish time periods within which such sites shall be transferred to the Districts. Development of the school sites with school facilities shall be by each District as it requires the facilities and is able to fund them.

Two specific sites (size, location and configuration) have been designated in and transferred to the Fruitvale School District within the Specific Plan area.

A specific site (size, location and configuration) has been delineated in the Norris School District within the Specific Plan area. The specific size, location and configuration shall be determined when more precise development work has been initiated in the area.

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# RiverLakes Ranch Specific Plan

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## DEVELOPMENT STANDARDS

## SECTION XI

### 11.1 INTRODUCTION

1. The following guidelines are intended for all development within the RiverLakes Ranch Specific Plan area.

The goal of these design guidelines is to encourage creativity in both planning and architectural development while providing for a quality living environment which is consistent in character throughout the RiverLakes Ranch development. These guidelines are designed to guide, inform, and aid the individual developers, as well as require certain standards in order to maintain consistency of the overall development.

Strict, yet reasonable interpretation of these design guidelines, will assure the master developer, as well as each project developer a community of high quality within a planned environment.

The following development standards shall apply in absence of different agency requirements in any subsequently adopted project development plan or final subdivision map.

### 11.2 OBJECTIVE

1. Provide guidelines and urban development standards that will reinforce and support a planned, mixed use community, so that it may provide for many of the social, recreational, shopping and community services needs as well as providing for a quality living environment.

### 11.3 IMPLEMENTATION

1. All development within the Specific Plan area shall be by improvements to City of Bakersfield standards. All residential development shall be by subdivision map, planned unit development zone, or other commercial provisions, and shall be to City of Bakersfield ordinances and improvement standards unless these standards are more restrictive. All commercial development shall be by City Zoning Ordinances providing for improvement standards.

### 11.4 GENERAL GUIDELINES AND STANDARDS

#### 11.4.1 Building Orientation

- Objectives**
1. Provide optimum orientation of buildings to allow for active solar collection and passive solar design opportunities.
  2. Allow for visual access to structures where appropriate.
  3. Provide visual relief by staggering elevations, structure and setbacks.

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## RiverLakes Ranch Specific Plan

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- Standards**
1. Orient access streets, where feasible, in an east-west direction so buildings front north-south to maximize solar access (14 degrees south-southwest optimum).
  2. Front the longest sides of a building, where possible, in a direction to minimize the effects of low angle sun exposure on west building facades.
  3. Provide roof overhangs where possible on southern exposures to allow shaded cooling in the summer and light penetration for passive heating in the winter.
  4. All buildings within RiverLakes Ranch shall be energy resource efficient. Items to be evaluated may include insulation, glazing considerations, weatherstripping, water heater insulation, etc.

### 11.4.2 Building Setbacks

- Objectives**
1. Provide areas for landscape enhancement and visual buffering.
  2. Provide sufficient space between buildings to ensure adequate light and privacy and sound control for building occupants and create a pleasant atmosphere.
  3. Locate buildings and other improvements to complement that portion of the site on which they are to be placed and to enhance adjoining street scapes.

- Standards**
1. Locate buildings and parking areas according to the City of Bakersfield Zoning Ordinance requirements, except that the following standards of this plan which are more restrictive than the Zoning Ordinance shall apply.

### 11.4.3 Architectural Design and Materials

- Objectives**
1. Produce orderly and aesthetically pleasing developments that are high in quality and design, efficient, economical, and in harmony with the development theme.
  2. Encourage architecture and building designs which are uniquely adaptable to each localized area, yet compatibly blends with the overall development.
  3. Integrate materials, colors and style throughout each development area to achieve continuity in design.

- Standards**
1. A Development Standards Review Committee shall review all residential, commercial, recreational and public services development plans as indicated herein.

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## RiverLakes Ranch Specific Plan

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2. All precise development plans including architectural and landscape architectural plans shall be submitted to the Development Standards Review Committee for their review and approval prior to submittal for approval by the City of Bakersfield.
3. Buildings within the RiverLakes Ranch Development shall be appropriate to the site in mass and scale, as well as having visual and color harmony within each development.
4. Design of water storage tanks, processing equipment, cooling towers, microwave equipment, communication towers, vents, air conditioning equipment and any other structures or equipment shall, to the maximum extent possible, be architecturally shielded at ground level from view from any public right-of-way. Shielding can be in the form of structures and/or landscaping as well as walls. Such designs shall be submitted to the Development Standards Review Committee and approved by the Planning Agency before construction or erection of structures or equipment.

### 11.4.4 Utilities/Grading

- Objectives**
1. Provide for the construction and maintenance of necessary utilities serving developed areas.
  2. Encourage the use of joint trenching wherever possible to minimize disrupting parkway areas during installation and repair.
- Standards**
1. Provide utility easements as required by the agency providing service.
  2. Utility lines for all new developments, except for existing agricultural and oil extraction uses, shall be underground. No pipe, conduit, cable, line for water, gas, sewage, drainage, steam, electricity, or any other energy or service shall be installed or maintained upon any lot (outside of any building) above the surface of the ground, except for hoses, moveable pipes used for irrigation or other purposes during construction, or transformers, gas meters, and fire hydrants.
  3. Group transformers with utility meters where possible. Buffer with approved landscaping or screening.
  4. The overall site slopes generally south and west. Utility easement areas may be used for storm water retention provided that a maximum potential water depth of 18" shall not be exceeded unless the site is fenced in accordance with Flood Control requirements and approved by the public utility. Property proposed for stormwater retention will be dedicated to the City or be within an easement granted to the City for this use. Approval shall be required from the affected utility companies for the use of their easement areas for stormwater detention. A maintenance district shall maintain these areas.

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## RiverLakes Ranch Specific Plan

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Perimeter fencing around the golf course and lake developments shall eliminate the requirement for fencing around specific bodies of water that may be integral to those development designs.

5. Berming is required and encouraged, however extensive grading should not be considered due to the relatively level nature of the site. Overland, or sheet, drainage from bermed areas to public streets or sidewalks is not allowed and shall be retained on-site. Berms within landscaped setback areas shall be approximately 30"-36" high as measured from the adjoining top-of-curb elevation. Where slopes are necessary, they shall be consistent with the controlling agency and/or the following:
  - a. Cut slopes shall be no steeper than 3:1 and the top and toe shall be rolled back;
  - b. Fill slopes shall be no steeper than 3:1 and the top shall be rolled back;
  - c. Slopes to be planted with lawn or turf shall not exceed 4:1;
  - d. Landscape areas shall generally slope a minimum of 1% to settlement areas or drainage facilities.

### 11.4.5 Parking Standards

- Objectives**
1. Provide sufficient space for the parking of vehicles in close proximity to destinations.
  2. Ensure compatible planning and design of parking areas with adjacent buildings.
  3. Design parking and circulation facilities for both auto and pedestrian use to ensure maximum public safety.
  4. Integrate parking areas throughout development areas to avoid large expanses of paving.
- Standards**
1. The parking and landscape standards of the City of Bakersfield Zoning Ordinance shall apply to all building development.
  2. Design of parking areas shall be reviewed at the time of the Development Plan review for each project.
  3. All parking shall be partially screened by landscaping. All surface parking areas for more than 10 spaces which are adjacent to an arterial or collector shall be screened by use of landscape berms with a minimum height of 30", measured from the adjacent top-of-curb. Retaining walls or landscape hedges shall be used on the parking area side of the berms where berms are less than 23 feet in width. Berm slopes shall not exceed 3:1 with a minimum three-foot-wide crown and two-foot base (*see Exhibit 25-A*).

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## RiverLakes Ranch Specific Plan

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4. A poured-in-place concrete curb shall be provided at the perimeter of planted areas within parking lots to prevent vehicular intrusion. Barriers shall be continuous.
5. Landscape islands within parking areas shall be provided at maximum intervals of 50' with a tree ratio of one tree for each six parking spaces.
6. Parking areas shall be divided into sections of less than 400 cars. Each section shall be separated by internal drives to improve traffic circulation.
7. Any ramp driveway exit rising from underground parking shall end a minimum of 20 feet inside the property line.
8. All parking spaces shall be paved with asphalt concrete paving over approved aggregate base in thickness as required by either City Standards or existing soil conditions. The paving surface shall shed water quickly and economically and be designated by painted lines.

### 11.4.6 Loading and Service

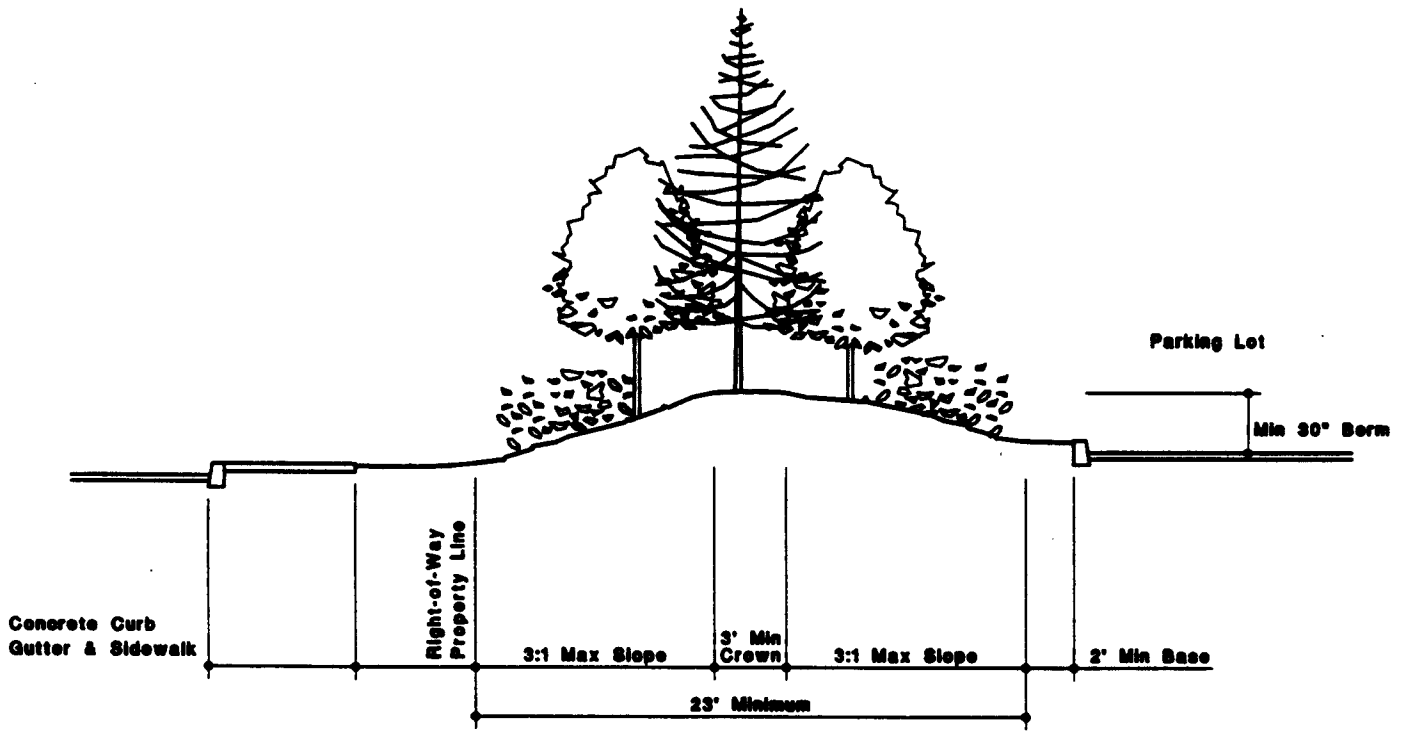
**Objective** 1. Provide a functional method of visually screening vehicles and loading and service areas without impairing the efficiency of access and circulation.

- Standards**
1. All loading and unloading of vehicles shall be conducted on each building site.
  2. Loading areas, loading docks, parking areas, and service areas shall be planned so that one use does not interfere with another.
  3. No loading docks or loading areas shall be visible from any public street. Landscaped buffers or walls shall be used to screen these areas from public view.

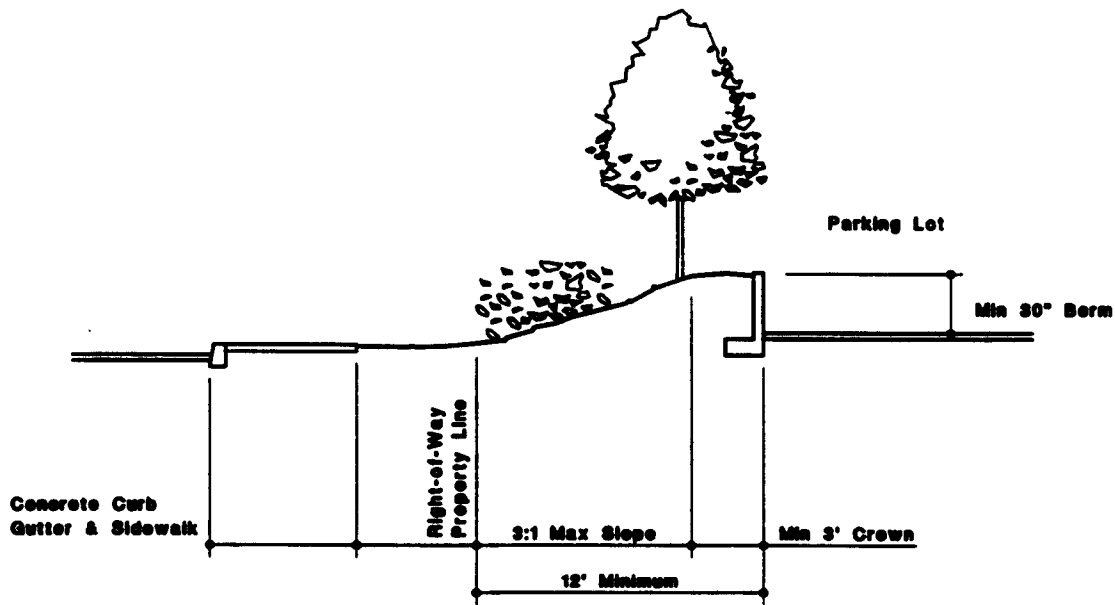
### 11.4.7 Buffers and Fences

- Objectives**
1. Maximize the security for the occupant of RiverLakes Ranch through the efficient combination of landscaped buffers and security fencing.
  2. Provide for the visual relief of motorists around and within the RiverLakes Ranch community.
  3. Provide for community identification by establishing and enhancing the "edges" of the community. Ensure that security walls and fencing are aesthetically pleasing and enhance the overall design theme.
  4. Provide visual buffer of unsightly areas, such as storage and parking areas with materials that are compatible with adjacent buildings, structures and landscape elements.





**LANDSCAPED BERM TO  
SCREEN PARKING AREAS**



**LANDSCAPED BERM WITH  
RETAINING WALL**

**PARKING LOT SCREENING**

**RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California**

**EXHIBIT 25-A**

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## RiverLakes Ranch Specific Plan

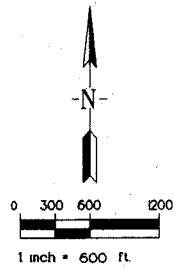
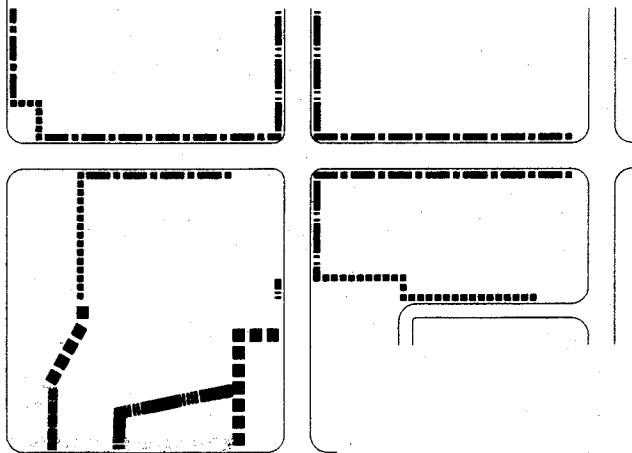
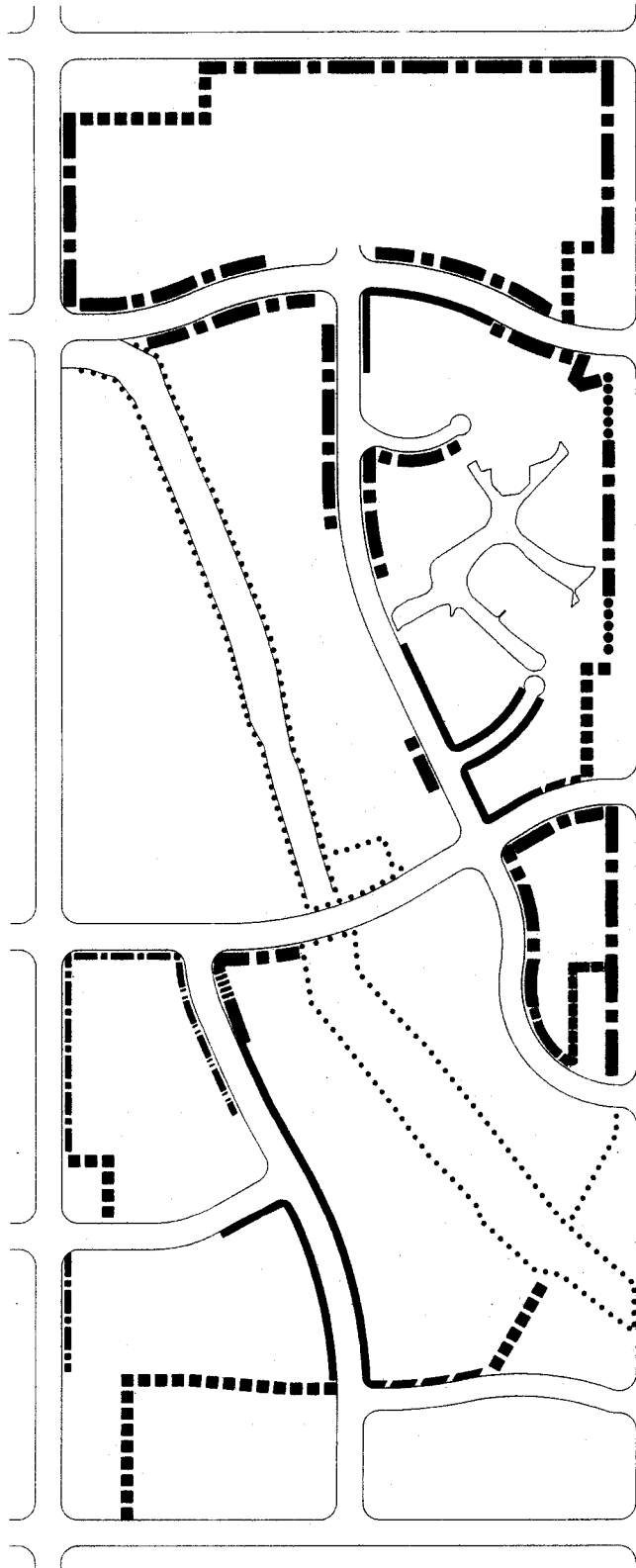
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- Standards**
1. Prior to construction, designs for fences or walls shall be submitted to the Development Standards Review Committee for review and approval. All fencing and walls shall conform with the guidelines incorporated herein. Existing walls within the Specific Plan area shall remain.
  2. The following provides guidelines for the design of walls at public right-of-way lines and/or within publicly landscaped street setbacks within the RiverLakes Ranch project. Several types shall be incorporated to satisfy various functional and aesthetic considerations. The *Wall and Fence Plan* shall indicate locations for each (see *Exhibit 26-A & 26-B*).
    - a. **Community Theme Wall, Level One:** These walls occurring primarily along Hageman Road, Coffee Road, Olive Drive, Calloway Drive, Norris Road and RiverLakes Drive are composed of split face masonry units with a fluted top course and decorative cap. River rock pilasters occur at approximately 60' intervals. The total wall height adjacent to all residential land use designations along Coffee Road from Olive Drive to Hageman Road shall be eight feet which may be accomplished with a six foot high wall atop a two foot earth berm or retaining wall. Where the residential lots are two feet or greater below the linear park, the wall may be six feet high as measured from the park side.
    - b. **Community Theme Wall, Level Two:** These walls are typically located along Main Plaza Drive, Patton Way and other secondary collector streets. They are composed of split faced masonry units with a decorative brick cap. Brick faced pilasters occur at approximately 60' intervals.
    - c. **View Fence.** This fence shall be used primarily at the perimeter of the golf course and beach club and lake where these recreational developments are adjacent to major arterials or collectors. They shall generally be composed of river rock faced columns and wrought iron fencing. Column spacing shall be at approximately 60' intervals. This wall/fence shall provide security while maintaining visual connection with the recreational developments beyond. This wall/fence shall be located on private property not within any City right-of-way or easements. These fences shall be maintained by entities other than the City.
    - d. Provide aesthetically appropriate transitions between the new proposed walls and the existing slump stone walls at street intersections or where other open space occurs.
  3. Screening fences and buffer areas shall be of a height at least equal to that of the materials or equipment being stored in accordance with height requirements of the City of Bakersfield Zoning Ordinance.

**LEGEND**

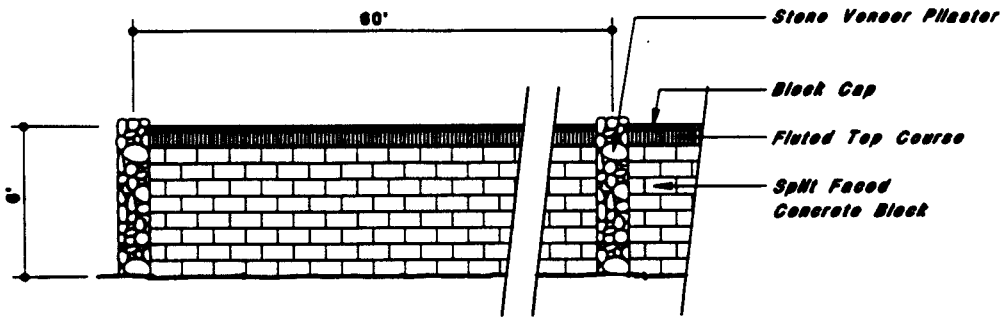
- Existing Arterial Wall, Level One
- - - - - Existing Collector Wall, Level Two
- ..... Existing Masonry Wall, Level Three
- Existing Slumpstone Wall
- - - - - New Slumpstone Wall to Match Existing
- ..... Community Theme Wall, Level One W/ Berm
- - - - - Community Theme Wall, Level One
- Community Theme Wall, Level Two
- ..... Community Theme Wall, Level Three
- ..... Chain Link Fence



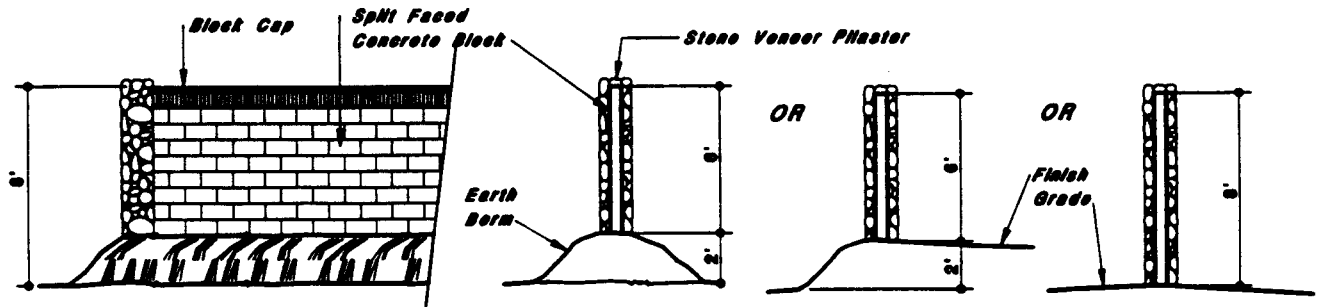
**WALL AND FENCE PLAN**

**RIVERLAKES RANCH SPECIFIC PLAN**  
**Bakersfield, California**

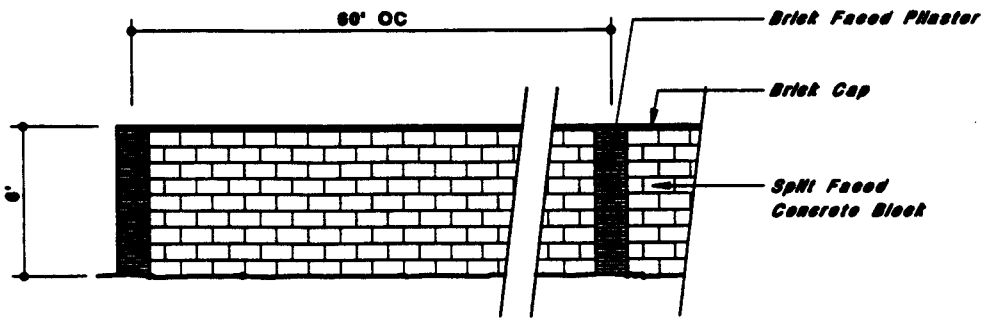
**EXHIBIT 26-A**



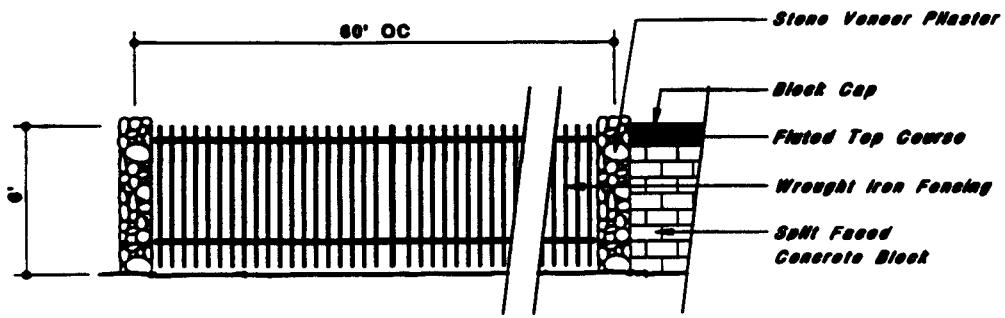
Community Theme Wall, Level One



Community Theme Wall, Level One w/ Berm



Community Theme Wall, Level Two



View Fence

**WALL AND FENCE ELEVATIONS**

RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California

EXHIBIT 26-B

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## RiverLakes Ranch Specific Plan

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### 11.4.8 Landscaping Standards

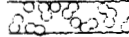
- Objectives**
1. Provide a well maintained and landscaped appearance along all streets and in all developments.
  2. Buffer unsightly areas from public view with the use of appropriate landscape materials.
  3. Utilize plant materials that integrate the architectural form with the landscape. Expansive horizontal and vertical surfaces should be modulated or interrupted by foliage masses.
  4. Utilize landscape design and the masses and forms of plant materials to both identify specific areas of development and visually integrate such areas into their larger environmental context.
  5. Ensure that landscaping details including fencing, security walls, and community monuments, will enhance the theme of the community and serve to identify the individual development areas.
  6. Design street scapes to promote community character and to compliment the form of development.
  7. Achieve consistent landscape themes on arterial and collector streets within the community through the use of plant materials selected from a master list of plants developed for arterial streets, collector streets and Coffee Road.
- Standards**
1. Street parkway and median planting shall conform to the RiverLakes Ranch Master Plant List for Coffee Road and *Master Landscape Plan* (see Technical Appendix). Per Wall and Landscape standards, the minimum width for parkway landscaping shall be ten feet along arterials and eight feet along collectors (see *Exhibit 27-A*).
  2. All landscaping plans shall be submitted to the Development Standards Review Committee for review and approval.
  3. All parking islands shall contain a minimum of one shade tree and an acceptable ground cover, brick or paving stone inlay.
  4. When a building is located at the minimum side or rear property line setback, the entire area between the building and setback shall be landscaped. All areas other than building or parking areas shall be landscaped or otherwise be covered with decorative paving or other landscape feature (e.g. a fountain).
  5. All community and residential entries (primary and secondary) shall be landscaped and tie into adjacent wall construction and shall be consistent in character throughout, including signing, graphics and materials. See the

**LEGEND**



**Arterial Streetscape**

- Theme Tree** *Sequoia sempervirens*/'Los Altos'
- Support Tree** *Pinus canariensis*/*Alnus rhombifolia*
- Accent Tree** *Liquidambar styraciflua*/'Palo Alto'  
*Cedrus atlantica* or *deodara*
- Shrubs** *Mahonia aquifolium*  
*Photinia fraseri*  
*Pittosporum tobira*/'Verlagota'  
*Xylocma congestum*
- Groundcover** *Turfgrass*  
*Hypericum calycinum*  
*Macfadyena unguis-cati*



**Arterial Streetscape - Coffee Road**  
See RiverLakes Ranch Master Plant List

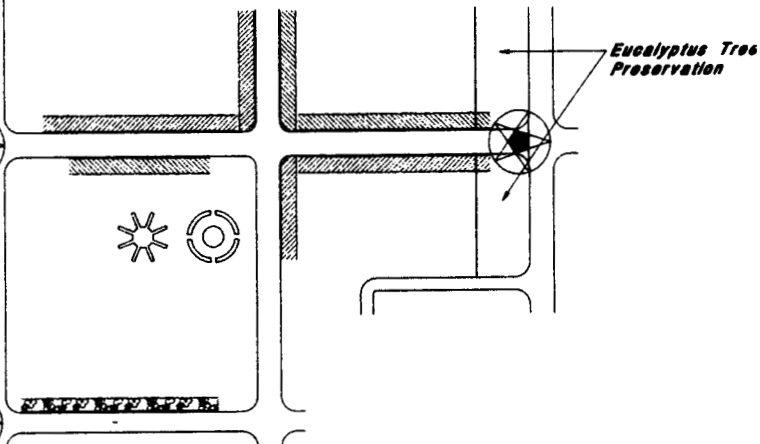


**Collector Streetscape**

- Theme Tree** *Pinus ularica*/*Platanus acerifolia*
- Support Tree** *Gleditsia triacanthos*/'Shadomaster'
- Accent Tree** *Cercis canadensis*
- Shrubs** *Nandina domestica*  
*Pittosporum tobira*  
*Raphiolepis indica*/'Springtime'  
*Xylocma congestum*
- Groundcover** *Turfgrass*  
*Hypericum calycinum*  
*Macfadyena unguis-cati*



**Existing Streetscape**



**Entry/Community Identification**



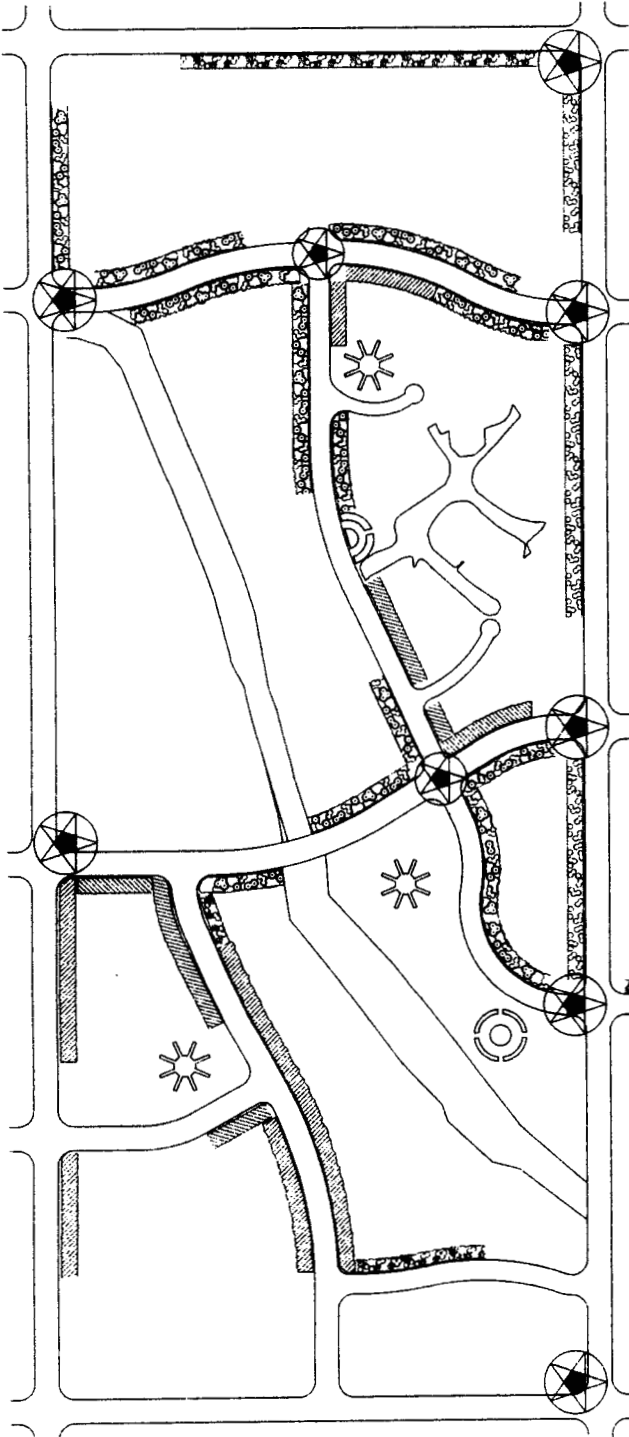
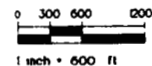
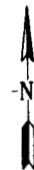
**Beach Club**



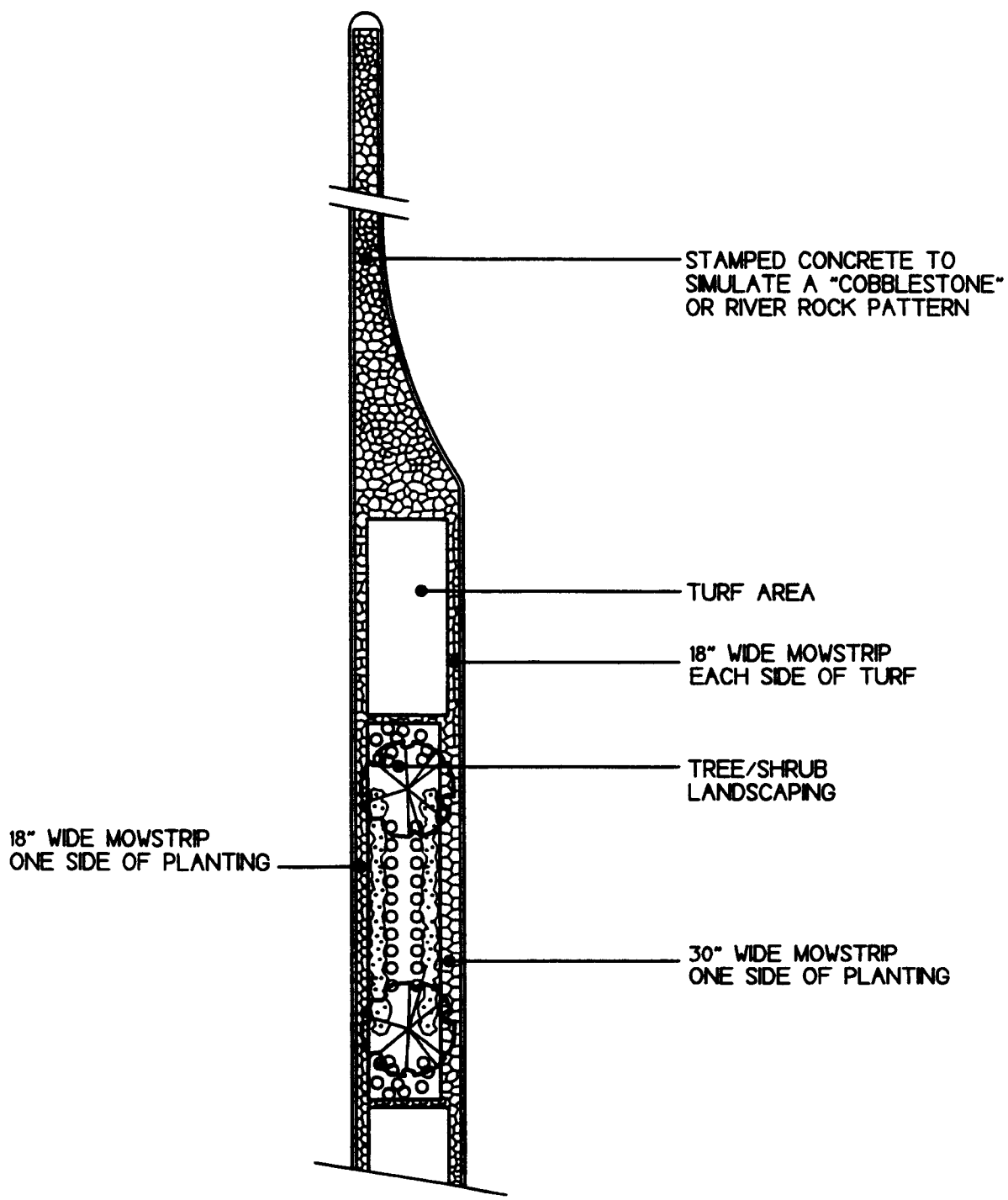
**School Site**



**Park Site**



7



**MEDIAN LANDSCAPE DETAIL**

**RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California**

**EXHIBIT 27-8**

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## RiverLakes Ranch Specific Plan

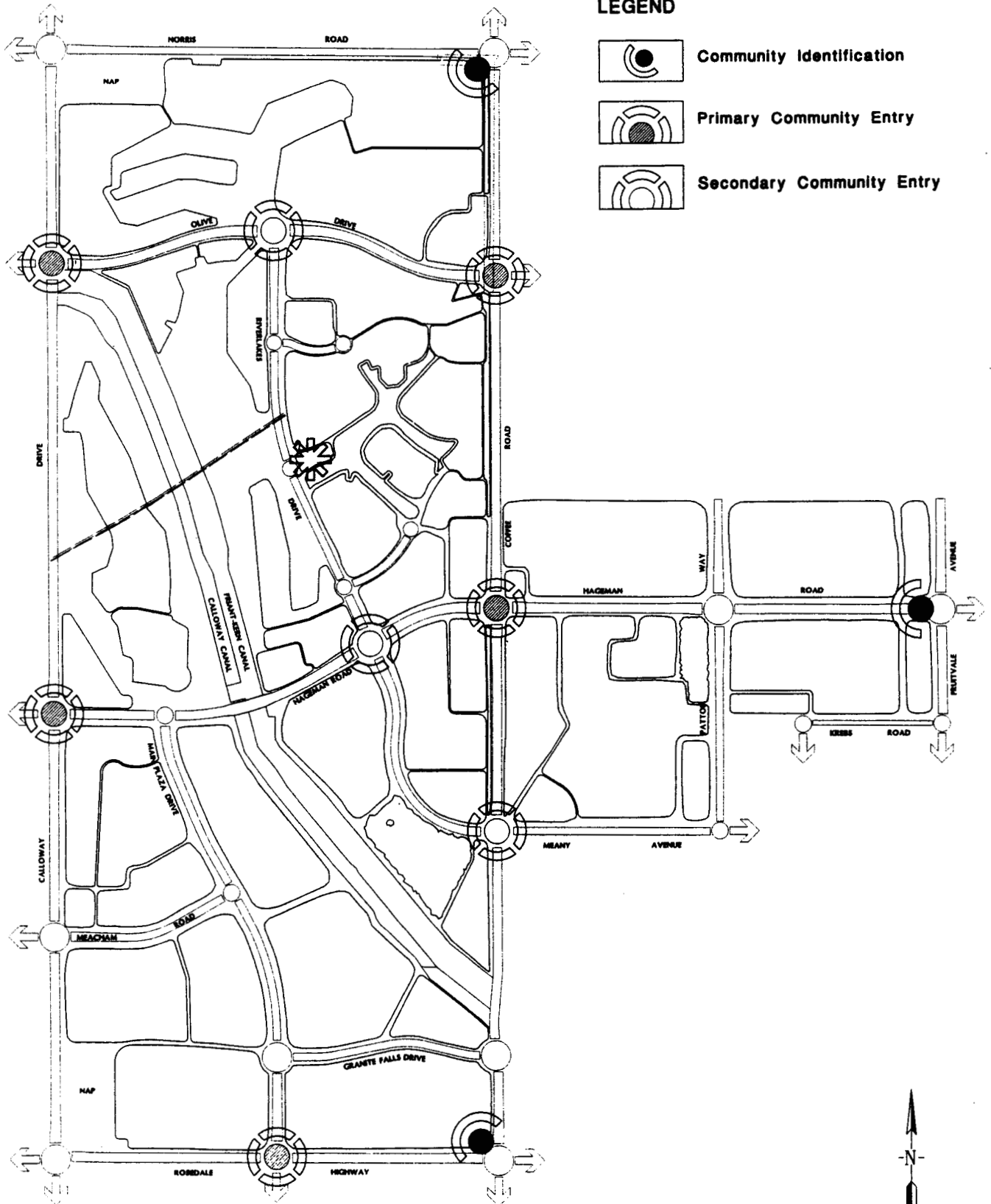
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*Community Identification Plan* for conceptual locations of entries (see *Exhibit 28-A*).




These primary materials at these entries shall be landscaping, a dominate theme tree, with flowering accent and deciduous trees carefully located for maximum impact. Walls and monumentation signing shall occur at entries with materials used being consistent with adjacent wall construction. Landscaping may be in raised planters and turf shaped in berms. Water features may be included at major entry points (see *Exhibit 28-B*).

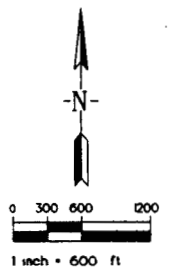
- a. Secondary (residential/commercial) entries throughout the project shall also use signing as a dominant element and a consistent tree and shrub palette shall be used (primarily ever-green species).
6. Street scape landscaping shall be an integral part of developing a consistent environment and theme throughout the project and the RiverLakes Ranch community at large, particularly along the thematic collector streets.
- a. Parkway and medians shall be predominantly turf and trees with species as indicated in Master Plant List (see Technical Appendix). Medians and median left turn slots with a measurement of less than five feet wide measured from inside of curb shall receive hardscape such as stamped concrete to simulate a cobblestone or river rock pattern (see *Exhibit 27-B*).
  - b. Street trees shall be as indicated. Predominant street landscape edges shall be trees and turf with shrubs or vines adjacent to walls. All residential front yards are to be installed by developers at construction completion and shall be turf, three trees per house minimum and shrubs. Trees shall be placed between house and front property line.
7. Irrigation system shall be provided with all landscape architectural plans.
- a. Irrigation systems shall be automatic and divided separately into at least turf and shrub zones.
  - b. Irrigation systems shall employ underground conduit for transporting water with the exception of "drip" systems.
  - c. Use water efficient spray heads whenever possible and consideration should be given to the use of tensiometer for water conservation in large turf areas such as parks.
  - d. All spray heads adjacent to curbs or sidewalks shall be of a "pop-up" type.
  - e. Irrigation systems shall be designed so as not to over spray walks or street and parking lot paving.





**LEGEND**

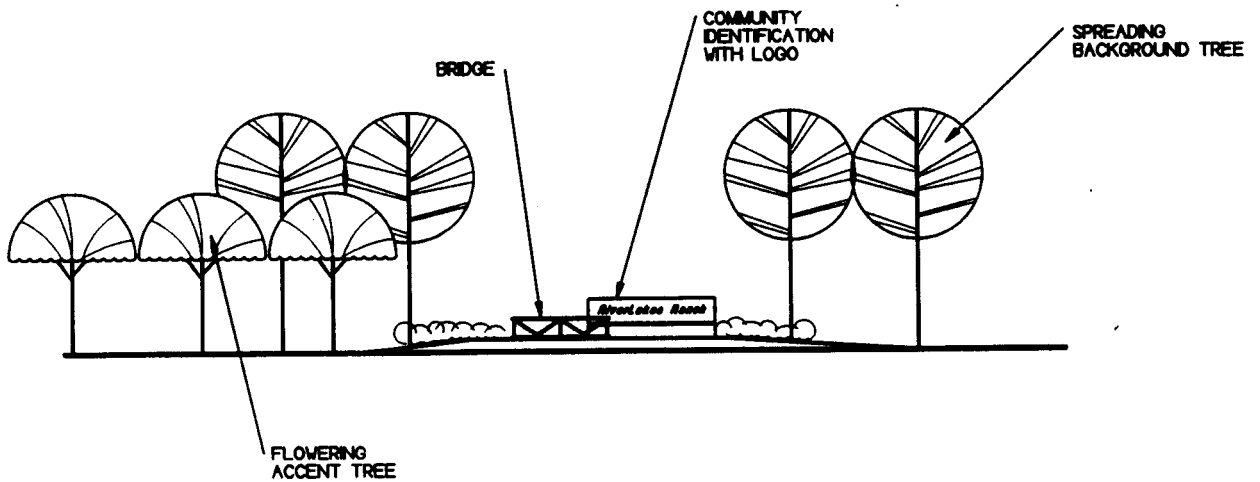
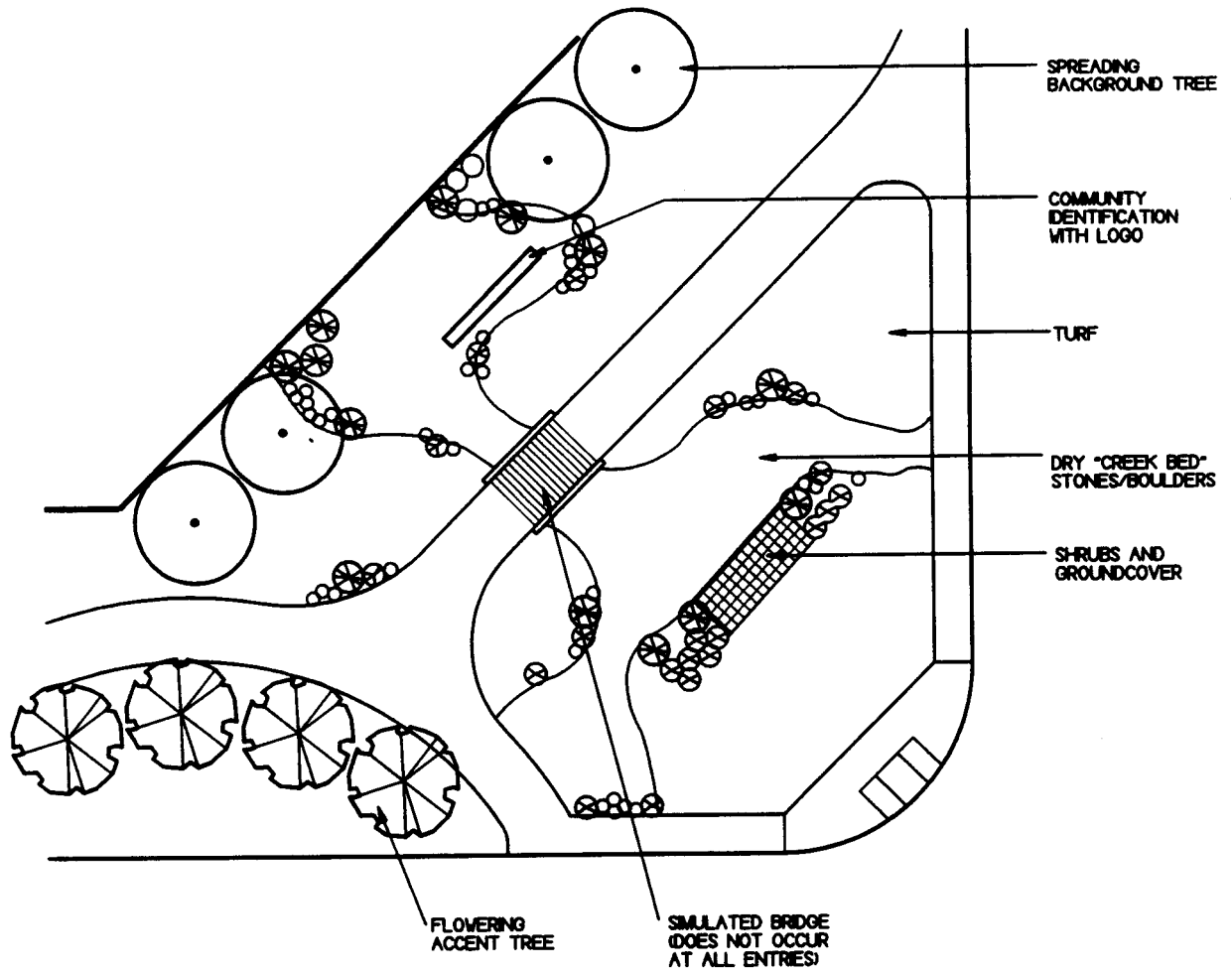
-  Community Identification
-  Primary Community Entry
-  Secondary Community Entry



**COMMUNITY IDENTIFICATION**

**RIVERLAKES RANCH SPECIFIC PLAN  
Bakersfield, California**

**EXHIBIT 28-A**



**COMMUNITY IDENTIFICATION PLAN**

**RIVERLAKES RANCH SPECIFIC PLAN**  
 Bakersfield, California  
 EXHIBIT 28-B

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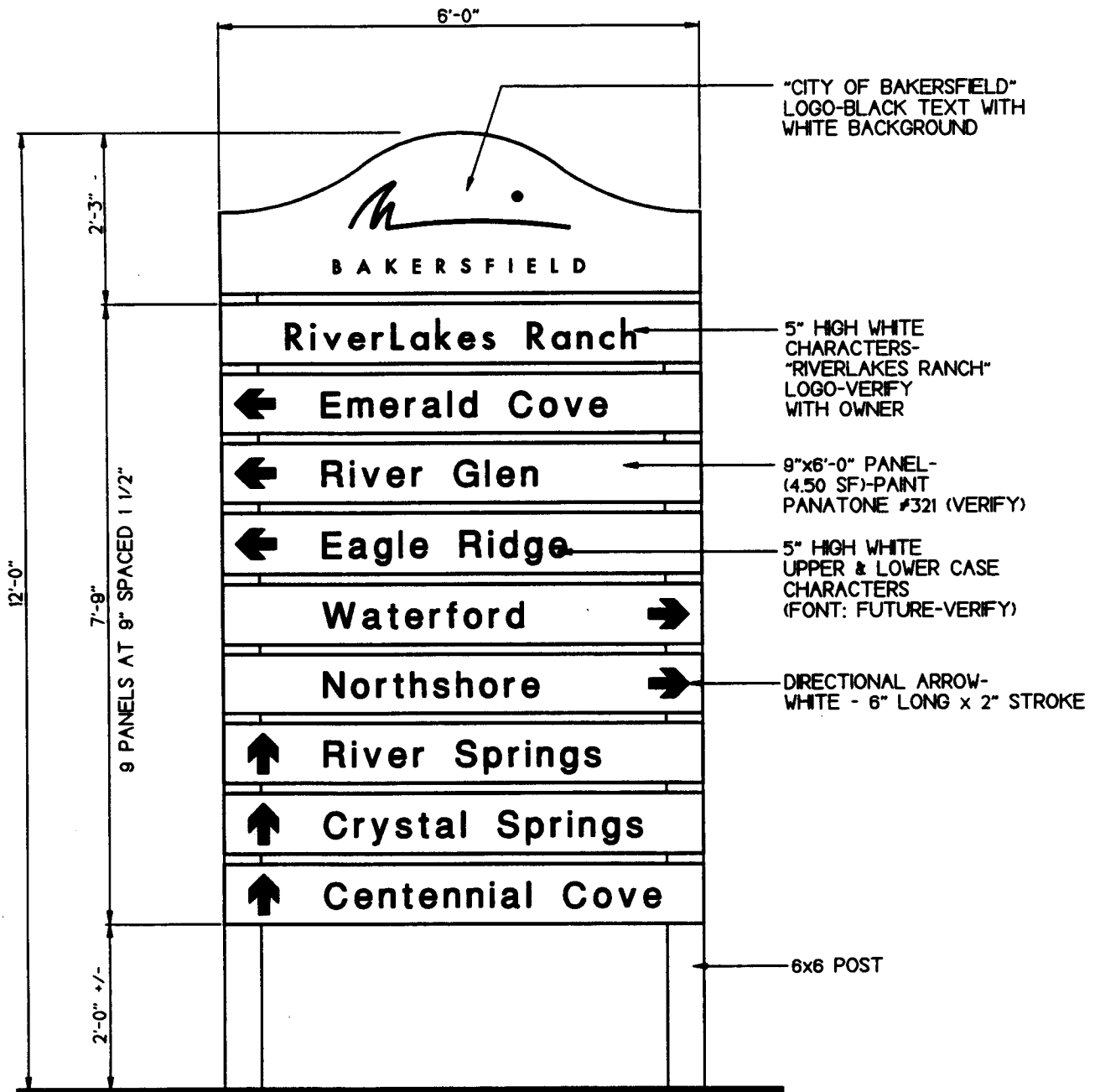
## RiverLakes Ranch Specific Plan

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### 11.4.9 Signing

- Objectives**
1. Provide suitable graphics for business identification and directional guidance.
  2. Communicate information in a straight forward and aesthetically pleasing manner.
  3. Establish a compatible relationship between the sign structures and the natural environment, and overall design character of the community.
- Standards**
1. As a minimum, temporary and permanent signs shall conform to the City of Bakersfield Sign Ordinance standards as may be amended from time to time.
  2. Monument Identification Signs shall be placed a distance of 10' from the street right-of-way to the sign, the face of which shall be located perpendicular to the direction of traffic.
  3. Signs shall not be located closer than 50' from interior property lines and shall be no closer than 50' when two or more are located on a particular street frontage.
  4. A subdivision directional kiosk sign program shall conform to the design guideline incorporated herein as depicted on Directional Kiosk Sign (Exhibit 29-A) allowing builders of residential homes in RiverLakes Ranch the opportunity to provide direction to their projects through the use of name panels located on a kiosk sign which also identifies "RiverLakes Ranch" and the City of Bakersfield. The program may be administered by the Master Developer which shall set standards for the location and the procedure for applying for a panel identification. In the event the City of Bakersfield adopts an off-site residential kiosk sign program, said program shall supersede the regulations set forth in this paragraph. If the existing RiverLakes Ranch signs are adopted into the City's sign ordinance program, the existing builders on the signs shall be deemed to be the initial applicants. The City's kiosk sign program is applicable to builders within RiverLakes Ranch.
    - a. Kiosk signs as defined herein shall be located within the RiverLakes Ranch project area.
    - b. Kiosk signs no longer required by the Master Developer may be assigned to the City of Bakersfield or their designated administrator to be used in any future city-wide kiosk sign program.



**DIRECTIONAL KIOSK SIGN**

**RIVERLAKES RANCH SPECIFIC PLAN**  
Bakersfield, California  
**EXHIBIT 20-A**

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# RiverLakes Ranch Specific Plan

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## 11.5 RESIDENTIAL DESIGN GUIDELINES

### 11.5.1 General Provisions

1. Patio Home, or zero-lot line development is acceptable if accomplished in accordance with the ordinance requirements for a P.U.D. development plan or final subdivision tract map approval by the City of Bakersfield.
2. Exterior walls shall be primarily textured stucco finishes of earth tone colors. Variations are encouraged to provide a complimentary mixture of colors as opposed to monotonous or contrasting colors. Where exterior wood/brick/stone or masonite wood exteriors are proposed, elevations will be approved by the Development Standards Review Committee.
3. Patio fences and walls should respond to the function they are performing and may range from 30" to 72" in height. Fences shall be constructed of wood, wrought iron or decorative masonry (i.e. brick slump stone, split faced block). Long expanses of walls shall be broken up by offsetting or detailing to reduce the monotonous fence line. Fence materials and detailing should reflect adjacent building trim. Tops of approved fences shall be kept level and capped.
4. Each project shall submit a plan view of proposed fencing and details for fences or walls as a part of precise plan of development or Tentative Map submittal to the Development Standards Review Committee using conceptual wall and fence details for reference wherever possible.
5. Roof materials and design shall reflect the general intent and character of the RiverLakes Ranch development. Roofs shall be pitched, gabled, shed hip type and constructed of tile or shake. Minimum roof pitch shall be 4" in 12" unless otherwise approved and should avoid excessive change within any one project or adjacent dwelling units.

Solar collection devices and related facilities (e.g. pipes, tanks, etc.) shall lay flush with roof wherever possible. Any racking, support structures and related facilities visible from the public right-of-way is not acceptable without design review by the Development Standards Review Committee. Any racking, support structures and related facilities mounted on a roof which is visible from a public right-of-way as approved provided by the proceeding sentence shall be no higher than the roof peak. Any ground mounted solar collection device and related facilities visible from the public right-of-way shall be screened from view, subject to design review by the Development Standards Review Committee and respect applicable setbacks. Any support structures and related facilities shall be of a color and material to blend with the dwelling unit.

6. Roof mounted equipment (e.g., air conditioning units, swamp coolers, antennae, satellite dishes, etc.) shall not be permitted on any residential dwelling. Roof mounted equipment shall not be permitted to be seen from any public right-of-way.

Satellite dishes, ground mounted equipment and air conditioners shall be screened from view from a public right-of-way and respect applicable setback requirements.

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## RiverLakes Ranch Specific Plan

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7. Trash storage areas (for multi-dwelling unit developments, etc.) shall be oriented to the rear of property where possible or screened. Trash storage shall not be visible from streets or adjacent developments. These facilities shall be enclosed with a solid wall not to exceed 8' in height. When adjacent to multi-story dwellings, appropriate screening shall be installed to block view of trash enclosure.
8. Multi-family and attached residential developments should be planned so as to maximize open space opportunities. (Buildings should be oriented so as to avoid monotonous identical setbacks or garage door corridors).
9. Mobile Home Parks shall be developed in accordance with City of Bakersfield Zoning Ordinance except as otherwise provided herein. Perimeter fencing, wall and other criteria shall apply as if for a single family detached residence per these guidelines.

### 11.5.2. Design Standards

1. Setbacks, lot size, building height, parking, and other development standards shall comply with the residential requirements of the City of Bakersfield Zoning Ordinance where applicable, except where provisions of this Specific Plan are more restrictive or as approved by the City of Bakersfield as part of a planned P.C.D. Zone, a P.U.D. Zone or final subdivision tract map.
2. Rear yard setbacks on all single family detached lots in the Suburban and Low Density Residential land use areas shall be 25 feet from rear property line to the main structure. Such rear yard setbacks for the main structure may be reduced to 15 feet provided no more than 20 percent of the required rear yard area is covered by the buildings or structures. Other accessory buildings or structures (e.g. pools, gazebos and covered patios) shall comply with the Bakersfield Municipal Code, Title 17 (Zoning Ordinance) for setbacks.
3. Side yard setbacks on all single family detached lots shall be 15 feet from side property line on corner side yards with direct vehicular access, and 10 feet on corner side yards without direct vehicular access. Direct vehicular access is prohibited on sides of corner residential lots with setbacks of less than 15 feet.
4. All residential single and multiple family lots in the Suburban, Low Density and Low Medium Density Residential land uses with rear property lines adjacent to either lake or golf course development shall have minimum front and rear yard setbacks of 20 feet and 15 feet respectively.
5. It is recognized that due to unique open space and recreational amenities provided by the golf course and lakes, residential neighborhoods adjacent to either the golf course or the central south lake shall be permitted the following setback modifications (Residential neighborhoods shall be defined as the land use "bubbles" depicted on the Land Use Plan which are adjacent to the golf course or south lake and described as Suburban, Low Density and Low-Medium Density):
  - a. Front yard setbacks may be reduced to 20' provided the following are met:
    - (1) No more than 50% of the residences along any street within any one neighborhood which do not share a rear property line with either the golf course or lake shall be permitted to have a 20' front yard setback.

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## RiverLakes Ranch Specific Plan

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- (2) When a residence is permitted a 20' front yard setback, each side yard setback must be a minimum of 6';
- (3) Residences which locate the garage door parallel to and at the 20' front yard setback line shall be required to install roll-up garage doors with automatic garage door opener. Residences with garage doors perpendicular to the 20' front yard setback line (i.e. are accessible from the direction of the side yard) shall not be required to install roll-up garage doors with automatic garage door opener. Residences may locate living spaces at the 20' front yard setback line and the garage space at or behind a 25' setback line.

It is intended that through the preceding setback modifications, a more modulated street scape is achieved through varying front yard setbacks while at the same time preserving desired densities through increased side yard setbacks. The preceding setback modifications shall not be considered to supersede more restrictive setbacks required for traffic lines of sight.

- b. Rear yard setbacks for the main residence may be reduced to 15' provided no more than 20 percent of the required rear yard area is covered by the residence.

### 11.5.3. Residential Land Use Concept

1. The Suburban Residential Classification is intended to provide for the development of single family detached housing with permitted density up to 4.0 units per acre. It allows for the development of custom and semi-custom housing on larger lots.
2. The Low Density Residential Classification is intended to provide for development of single family detached housing which permits densities up to 7.26 units per acre. It allows for the development of merchant type housing (i.e. non-custom "tract" housing) on smaller lots no less than 6,000 square feet.
3. The Low Medium Density-Single Family Detached Classification is intended to provide for development of a variety of detached forms of housing (zero-lot line or patio homes) on lots no less than 4,000 square feet in area with permitted densities up to 10.0 units per acre.
4. The Low Medium Density-Single Family Attached Classification is intended to provide for the development of one and two story residential dwellings with permitted densities up to 10.0 units per acre.
5. The High Medium Density Residential Classification is intended to provide for the development of attached residential housing up to a maximum density of 17.42 dwelling units per acre. Housing types include townhouses, apartments and stacked flats.
6. The High Density Residential Classification is intended to accommodate the development of multi-family housing at a maximum density of up to 29.0 dwelling units per acre. Multi-family residential development within this classification includes apartment and condominium housing.

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# RiverLakes Ranch Specific Plan

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## 11.6 COMMERCIAL DESIGN GUIDELINES

### 11.6.1 General Provisions

1. All commercial uses shall require development plan review and approval in accordance with City of Bakersfield Zoning Ordinance provisions. The land designated as Major Commercial (121 acres total) shall be planned in three phases, maximum, and approved in the same manner as a Planned Commercial Development as specified in the City Zoning Ordinance, Chapter 17.54.
2. Use of RiverLakes Ranch Specific Plan theme materials (i.e., turf, water, rock, wood) are encouraged both for buildings and site development features.
3. Textured concrete walls (sandblasted, exposed, aggregate, board form, split face block, etc.) should be considered dominant materials.
4. Flat roofs may be incorporated into architectural styled commercial design, but preferably when connected to a visually dominating pitched roof as pitched roofs are the project theme.
5. Stucco is suitable for up to 30% of the exterior surface areas, without special approval by the Development Standards Review Committee. (Color and texture to be consistent with residential standards.)
6. Each property will be encouraged to take full advantage of their site yet blend with existing (or proposed) adjacent development. Double walls or fencing within RiverLakes Ranch Specific Plan will not be permitted.
7. Roof mounted equipment may be permitted subject to design. However, it shall not be visible from adjacent streets or property.
8. In commercial zones, roof mounted equipment shall not be visible from surrounding streets. Roof mounted equipment on commercial structures shall be flush or screened and out of sight. The height of the screen shall equal the height of the equipment.
9. Each commercial building shall relate architecturally to its neighbor in terms of mass, color, texture, etc., but it should not be identical.

### 11.6.2. Design Standards

1. All uses permitted in commercial zones of the City of Bakersfield Zoning Ordinances shall apply to the areas designated commercial and in accordance with the basic land use as shown on *Land Use Plan* unless further restricted by this Specific Plan (see *Exhibit 8-A*).
2. Setback, lot coverage, lot size, building height, and other standards shall comply with the commercial standards of the City of Bakersfield Zoning Ordinance, except where provisions of this Specific Plan are more restrictive.



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## RiverLakes Ranch Specific Plan

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3. All Commercial and Commercial-Office land uses shall have a minimum yard landscaped setback of 25 feet measured from any adjacent street right-of-way line. No building, structure or parking area (except parking that is properly bermed and screened) shall be permitted within this setback.

### 11.6.3. Commercial Land Use Concept

1. The Office/Commercial Classification is intended to accommodate development of limited neighborhood oriented commercial uses and professional office compatible with the surrounding residential land uses.
2. The General Commercial Classification is intended to accommodate neighborhood-serving commercial users with building forms designed to be compatible with surrounding residential areas.
3. The Major Commercial Classification is intended to accommodate the development of large scale commercial facilities that serve a city-wide market area. The 121 acres designated as Major Commercial should be developed as the core of the "northwest centers" concept. Major Commercial facilities include commercial retail, consumer services, restaurant and entertainment facilities which are centered around major anchor tenants.

### 11.7 INSTITUTIONAL DESIGN STANDARDS

1. Schools, Parks, Churches, etc., shall follow these same general procedures and design standards for development and will be subject to the development review process. Architects selected by an institution or church are encouraged to meet with the Development Standards Review Committee at time of preliminary design.

### 11.8 PETROLEUM EXTRACTION STANDARDS

- Objectives**
1. The exploration for, development, and production of petroleum resources shall be allowed, but such activities shall be subject to the requirements listed below so as to minimize the impact on other land use developments in the surrounding environment.
  2. To allow for economic extraction of oil as a source of energy production and revenue for the local, state and national economy.
- Standards**
1. Drilling operations for the exploration and production of oil, gas, and other hydrocarbon shall be subject to the following requirements.
  2. Applications for drilling operations shall be submitted in compliance with all standards and regulations set forth within the City of Bakersfield criteria and California State Division of Oil and Gas.
  3. Fire safety and protection shall be provided and maintained to meet City of Bakersfield Fire Department regulations. All drilling sites and operations shall be kept clean and free of health and safety hazards.

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## **RiverLakes Ranch Specific Plan**

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4. New pump sites located within 300 feet of any dwelling shall be fenced so as to ensure public safety. This fence shall have three strands of barbed wire on top of the six foot fence and shall be six feet from any machinery and electrical equipment, and shall be constructed of chain link with wood or metal slats or other screening fence as approved by the Planning Agency.
5. All pumping wells shall be operated by electric motors or muffled internal combustion engines.
6. All residential buildings should be 100' minimum distance from wellhead unless a lesser distance is approved by the Fire Marshall.
7. The drill site should not be located any closer than 300' to any place of public assembly (church/school.)
8. Petroleum facilities shall observe required setbacks from street rights-of-way.

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# RiverLakes Ranch Specific Plan

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## **SPECIFIC PLAN IMPLEMENTATION**

## **SECTION XII**

### **12.1 SUBDIVISION AND ZONING**

1. All subdivision and zoning shall be consistent with the City of Bakersfield Subdivision and Zoning Ordinances, except where more restrictive provisions in this Specific Plan shall take precedence.
2. All subdivision tract maps and zone change applications shall be reviewed and approved according to the standards of the City of Bakersfield Ordinances.
3. The RiverLakes Ranch Development Standards Review Committee shall approve all building plans for consistency with the Specific Plan Development Standards prior to submission for City of Bakersfield review and approval, and may, as empowered by subsequent Covenants, Conditions and Restrictions, inspect work to determine whether or not it is being performed or has been performed in compliance with such standards.

### **12.2 PRECISE DEVELOPMENT PLAN REVIEW**

1. A precise development plan shall be submitted to the Development Standards Review Committee and approved prior to submission to the City of Bakersfield. The City of Bakersfield shall be responsible for the issuance of any grading and building permits.
2. The development plan shall be prepared and approved in accordance with the requirements of the City of Bakersfield Zoning Ordinance and the provisions contained herein.
3. The precise development plan submission shall include the following information:
  - a. A detailed plan drawn to scale showing the boundary of the precise development plan; the limits of the proposed development in relationship to all preceding approved precise development plans, or projected future development plans; topography and a proposed grading plan; the width, location, and names of surrounding streets; the location, dimensions, and uses of adjacent property of all existing buildings and structures within 50 feet of the boundary line of the subject property; the location, dimensions, ground floor area, and uses of all existing and proposed buildings and structures on the subject property; landscaping; parking areas, including the size and number of stalls and the internal circulation pattern; signs, including location, size, and height; pedestrian, vehicular, and service ingress and egress; proposed dedications and improvements in accordance with applicable subdivision improvement standards for the area; location, height, and material of walls and fences; and other specific uses of the property.
  - b. The following statistical information:
    - (1) Acreage or square footage in the property;
    - (2) Height, ground floor area, and total floor area of each building;

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## RiverLakes Ranch Specific Plan

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- (3) Number of dwelling units in each building;
- (4) Building coverage expressed as a percent of the total area of the property;
- (5) Parking ratio expressed as the ratio of the number of dwelling units to the number and area devoted to the off-street parking stalls, parking aisles, and driveways, but excluding walkways, landscape areas, and unused land;
- (6) Area of land devoted to landscaping and/or open space useable for recreation purposes and its percentage of the total land area;
- (7) Point of connection to the City of Bakersfield sewage disposal;
- (8) Water supply, both domestic and fire fighting;
- (9) Proposed on-site and off-site drainage facilities consistent with the approved Master Drainage Plan for the appropriate phase;
- (10) Methods of flood control, where appropriate.

### 12.3 BUILDING DESIGN REVIEW

1. The site plan, architectural design, and landscaping plan shall be submitted to the Development Standards Review Committee or similar design committee established by a project home owners association in the area where the proposed development is located.
2. No building, structure, or other improvement shall be erected or altered until the design and construction plans, specifications, site plan, and landscaping plans have been approved by City of Bakersfield as required for the issuance of a building permit.

### 12.4 GENERAL PROVISIONS

1. Prior to development, the existing agricultural land use, and other uses similar in character, shall be permitted.
2. All areas designated for residential use may be developed at slightly lower residential density than that indicated without requiring an amendment to the Specific Plan. Areas which are to be developed at a density which classification is one designation below permitted density (e.g., Low Medium Density in lieu of High Medium Density) shall require amendment to the Specific Plan.
3. All construction within the Specific Plan boundaries shall comply with provisions of the Uniform Building Code and the various related mechanical, structural, and plumbing codes as adopted by the City of Bakersfield and in force at the time of issuance of permit.
4. Prior to or coincidental with the filing of any tentative map within any particular development phase, the developer shall submit master drainage plan for that development.

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a:mr9-14  
October 28, 1998